

DATE	DESCRIPTION
01.18	PRELIM. PLANNING APPLICATION
08.18	PRELIM. PLANNING RESUBMITTAL
09.19	FORMAL PLANNING APPLICATION
15.19	FORMAL PLANNING RESUBMITTAL
03.19	FORMAL PLANNING RESUBMITTAL
24.19	FORMAL PLANNING RESUBMITTAL
05.19	FORMAL PLANNING RESUBMITTAL



1 RELATION TO EXISTING ADJACENT BUILDING - 208 E. 3RD AVE



3 RELATION TO EXISTING ADJACENT BUILDING - 174 E. 3RD AVE



2 RELATION TO EXISTING ADJACENT BUILDING - 208 E. 3RD AVE



4 RELATION TO EXISTING ADJACENT BUILDING - 174 E. 3RD AVE



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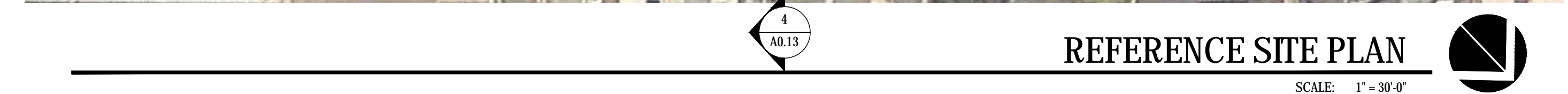
A New Project
LANE PARTNERS
180 E. THIRD AVENUE
SAN MATEO, CA 94401

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RELATION TO ADJACENT
STOREFRONTS

A0.04

PROJECT NO: 174574



PRELIM. PLUMBING FIXTURE TABULATIONS

BASEMENT AREA: 5,047 S.F.
FIRST LEVEL OFFICE AREA: 843 S.F.
FIRST LEVEL MERCANTILE AREA: 3,255 S.F.
SECOND LEVEL AREA: 5,230 S.F.
THIRD LEVEL AREA: 4,722 S.F.
ROOF FLOOR AREA: 2,953 S.F.

BASEMENT AREA & FIRST LEVEL OFFICE AREA (B): 5,890 S.F.
5,890 S.F. / 200 S.F. PER PERSON = 29.45 PERSONS; ROUND UP TO 30 PERSONS
15 MEN; 15 WOMEN

MEN'S FIXTURES	REQUIRED:	PROVIDED:
WATER CLOSETS:	1	1
URNALS:	1	1
LAVATORIES:	1	1

WOMEN'S FIXTURES	REQUIRED:	PROVIDED
WATER CLOSETS:	1	2
LAVATORIES:	1	1

FIRST LEVEL MERCANTILE AREA (M): 3,287 S.F.
3,287 S.F. / 200 S.F. PER PERSON = 16.44 PERSONS; ROUND UP TO 17 PERSONS
9 MEN; 9 WOMEN

MEN'S FIXTURES	REQUIRED:	PROVIDED:
WATER CLOSETS:	1	1
URNALS:	0	0
LAVATORIES:	1	1

WOMEN'S FIXTURES	REQUIRED:	PROVIDED
WATER CLOSETS:	1	1
LAVATORIES:	1	1

SECOND LEVEL AREA (B): 5,260 S.F.
5,230 S.F. / 200 S.F. PER PERSON = 26.15 PERSONS; ROUND UP TO 27 PERSONS
14 MEN; 14 WOMEN

MEN'S FIXTURES	REQUIRED:	PROVIDED:
WATER CLOSETS:	1	1
URNALS:	1	1
LAVATORIES:	1	1

WOMEN'S FIXTURES	REQUIRED:	PROVIDED
WATER CLOSETS:	1	2
LAVATORIES:	1	1

THIRD LEVEL AREA (B): 4,722 S.F.
4,722 S.F. / 200 S.F. PER PERSON = 23.61 PERSONS; ROUND UP TO 24 PERSONS
12 MEN; 12 WOMEN

ROOF FLOOR AREA (A-3): 2,953 S.F.
2,953 S.F. / 30 S.F. PER PERSON = 98.43 PERSONS; ROUND UP TO 99 PERSONS
50 MEN; 50 WOMEN

MEN'S FIXTURES	REQUIRED: B, A-3	PROVIDED: TOTAL
WATER CLOSETS:	1, 1	2
URNALS:	1, 1	2
LAVATORIES:	1, 1	2

WOMEN'S FIXTURES	REQUIRED:	PROVIDED
WATER CLOSETS:	1, 2	3
LAVATORIES:	1, 1	2

PRELIM. ALLOWABLE AREA AND HEIGHT CALC.

TYPE OF CONSTRUCTION: II-B

AUTOMATIC SPRINKLER CONFIGURATION: SM (BUILDINGS TWO OR MORE STORIES ABOVE GRADE PLANE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1)

OCCUPANCY:	B	M	S-2	A-3
MAXIMUM HEIGHT (TABLE 504.2)	75	75	75	75
MAXIMUM NUMBER OF STORES (TABLE 504.4)	4	3	4	3
ALLOWABLE AREA FACTOR (TABLE 506.2)	69,000	37,500	78,000	9,500

ACTUAL BUILDING AREA AND HEIGHT

Actual Building Area		Notes:
Basement Floor	5,801 S.F.	Building Area shown in this table is the building area as defined by the 2016 California Building Code, Section 202: The area included within surrounding exterior walls (or exterior walls and fire walls) exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.
First Floor	6,014 S.F.	
Second Floor	5,756 S.F.	
Third Floor	5,235 S.F.	
Roof	182 S.F.	
TOTAL AREA	22,988 S.F.	
BUILDING HEIGHT:	55'-0"	Building Height is defined as the vertical distance from grade plane to the height of the highest roof surface. If the highest roof level is a sloped roof, then the average height of that sloped roof shall be used. A penthouse is not intended to affect the measurement of building height. By definition, a Penthouse is an enclosed, unoccupied rooftop structure used for sheltering mechanical and electrical equipment, tanks, elevators and related machinery, and vertical shaft openings.(Section 202)
NUMBER OF STORES	4	

MIXED-OCCUPANCY, MULTISTORY BUILDINGS

Per CBC Section 506.2.4, "each story of a mixed-occupancy building with more than one story above grade plane shall individually comply with the applicable requirements of Section 508.1. For buildings with more than three stories above grade plane, the total building area shall be such that the aggregate sum of the ratios of the actual area of each story divided by the allowable area of such stories, determined in accordance with Equation 5-3 based on the applicable provisions of Section 508.1, shall not exceed three, *provided the aggregate sum of the ratios for portions of mixed-occupancy, multistory buildings containing A, E, H, I, L and R occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, including any other associated non-separated occupancies, shall not exceed two.*"

B Occupancy Equation 5-3
A_B = [A₁ + (NS x $\frac{1}{b}$)]
A_B = [69,000 + (23,000 x 0.25)]
A_B = 74,750

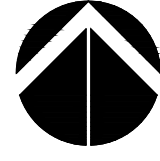
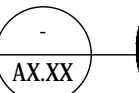

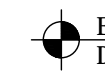

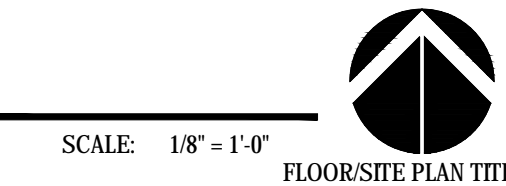
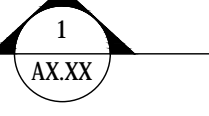
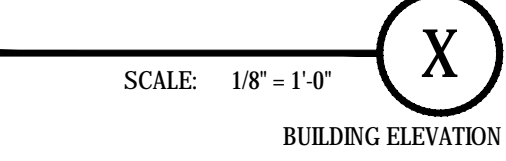
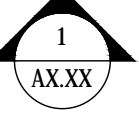
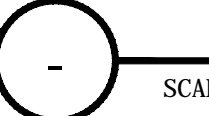

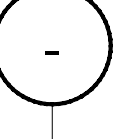
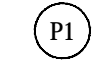
M Occupancy Equation 5-3
A_M = [A₁ + (NS x $\frac{1}{b}$)]
A_M = [37,500 + (12,500 x 0.25)]
A_M = 40,625

CBC 508.3.3 Amount of Increase
I₁ = [F/P - 0.25] W / 30
I₁ = [176'-2"/352'-4" - 0.25] 30/30
I₁ = 0.25

Per CBC Section 508.3 'Nonseparated occupancies', there is no additional area restriction for buildings with nonseparated occupancies.

Per CBC Table 508.4, separation is not required between B and M occupancies. Therefore, the separated occupancy restrictions do not apply.

ANNOTATION SYMBOLS

	NORTH DESIGNATION		PLAN DETAIL/ENLARGED ELEVATION REFERENCE
	OFFICE		ELEVATION DESCRIPTION — WORK POINT
	KEYNOTE		SCALE: 1/8" = 1'-0" FLOOR/SITE PLAN TITLE
	BUILDING SECTION REFERENCE		SCALE: 1/8" = 1'-0" BUILDING ELEVATION TITLE
	EXTERIOR ELEVATION REFERENCE		SCALE: DRAWING/DETAIL TITLE BLOCK
	FLOOR FINISH DESIGNATION - REFER TO FINISH SPECIFICATION		STRUCTURAL GRID IDENTIFICATION (NEW GRID)
	PAINT COLOR DESIGNATION - REFER TO FINISH SPECIFICATIONS		



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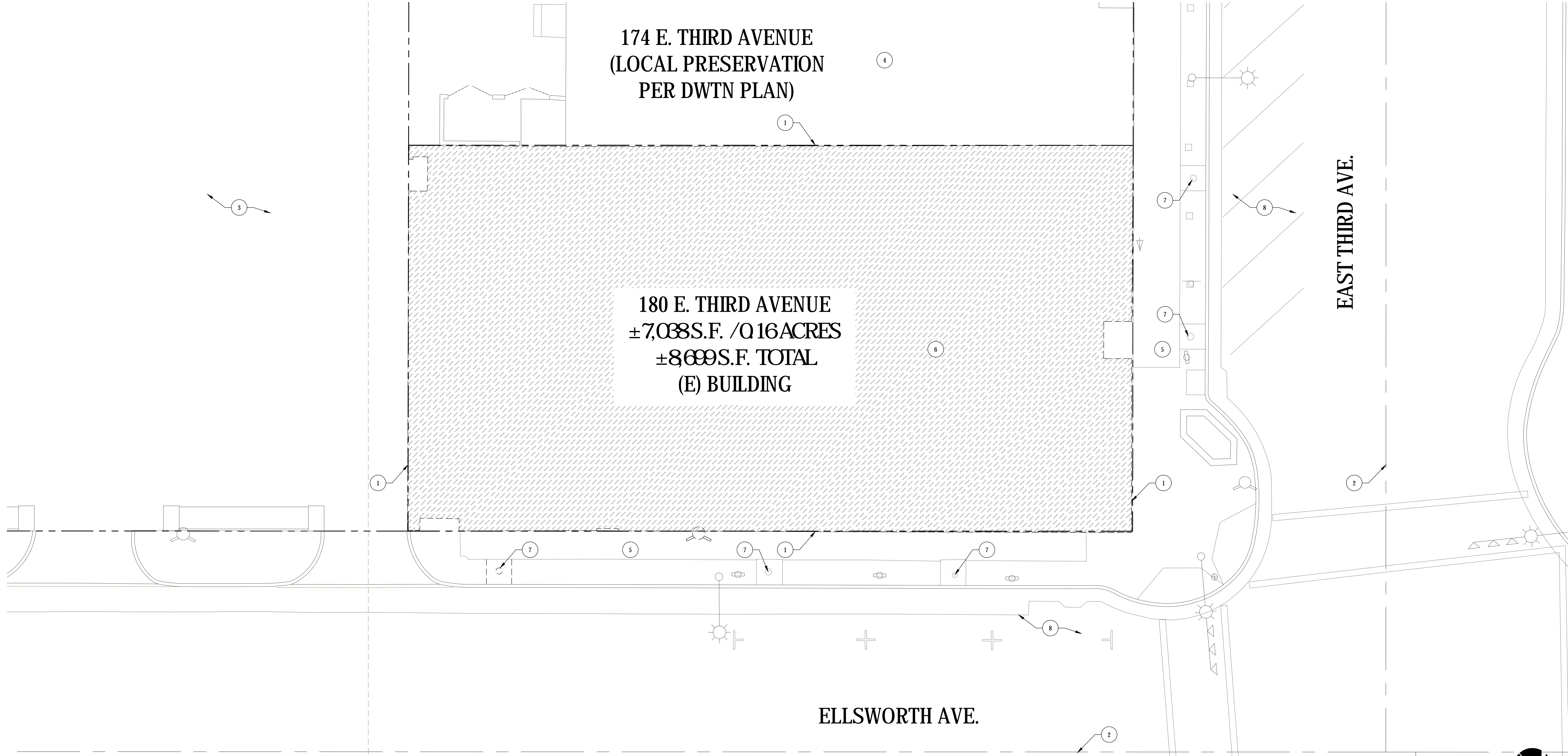
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PRELIMINARY PROJECT DATA,
GENERAL NOTES AND DRAWING
SYMBOLS KEY

A0.23

PROJECT NO: 174574



SITE PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 2 CENTERLINE OF PUBLIC RIGHT OF WAY
- 3 ADJACENT PARKING LOT
- 4 ADJACENT COMMERCIAL BUILDING
- 5 EXISTING SIDEWALK TO REMAIN
- 6 EXISTING BUILDING TO BE DEMOLISHED; SHOWN SHADED
- 7 REMOVE AND REPLACE EXISTING STREET TREE; SEE LANDSCAPE DRAWINGS
- 8 EXISTING STREET PARKING



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DEMOLITION SITE PLAN

A1.00

PROJECT NO: 174574



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SITE PLAN

PROJECT NO: 174574

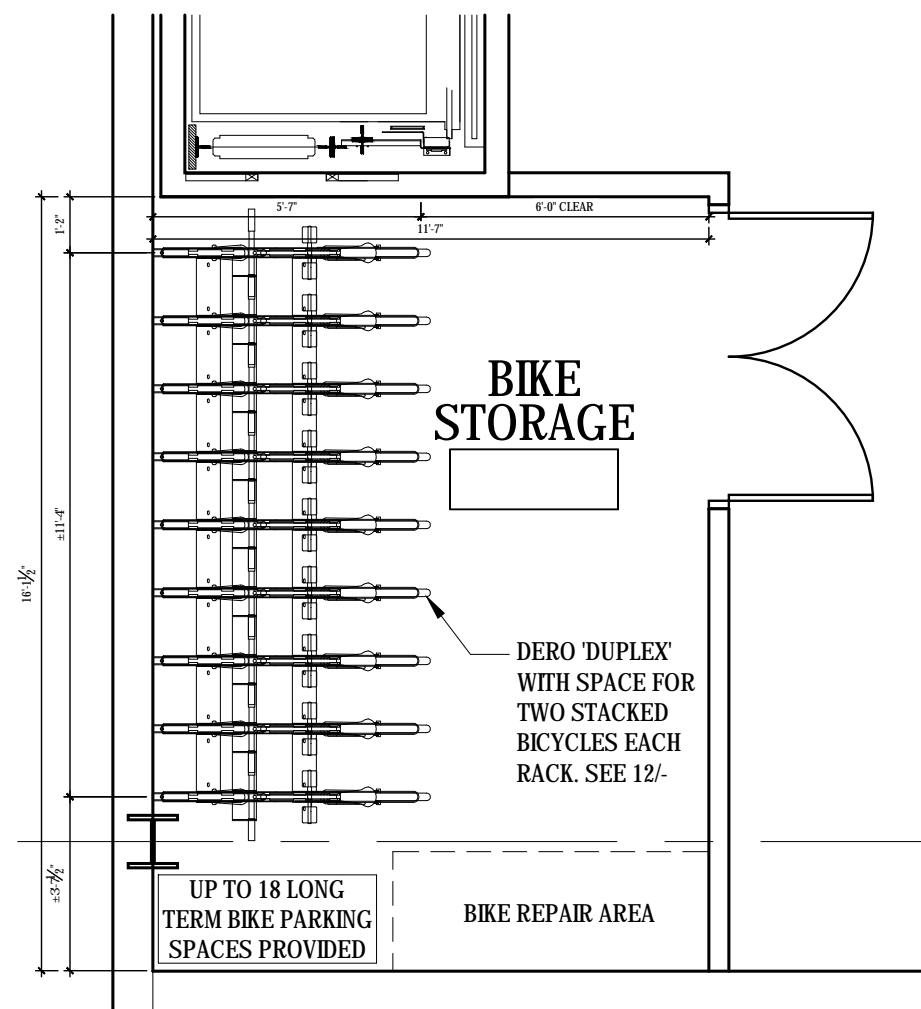


FIRST LEVEL FLOOR AREA	6,014 S.F.
SECOND LEVEL FLOOR AREA	5,756 S.F.
THIRD LEVEL FLOOR AREA	5,235 S.F.
ROOF LEVEL FLOOR AREA	182 S.F.
TOTAL BUILDING FLOOR AREA	17,187 S.F.*

FLOOR AREA CALCULATION - SEE A0.21 FOR AREA PLANS	
OFFICE AREA	
BASEMENT LEVEL FLOOR AREA	5,801 S.F.
FIRST LEVEL FLOOR AREA	2,634 S.F.
SECOND LEVEL FLOOR AREA	5,796 S.F.
THIRD LEVEL FLOOR AREA	5,235 S.F.
ROOF LEVEL FLOOR AREA	182 S.F.
TOTAL BUILDING FLOOR AREA	19,608 S.F.
<hr/>	
RETAIL AREA	
TOTAL AREA (FIRST LEVEL AREA)	3,412 S.F.

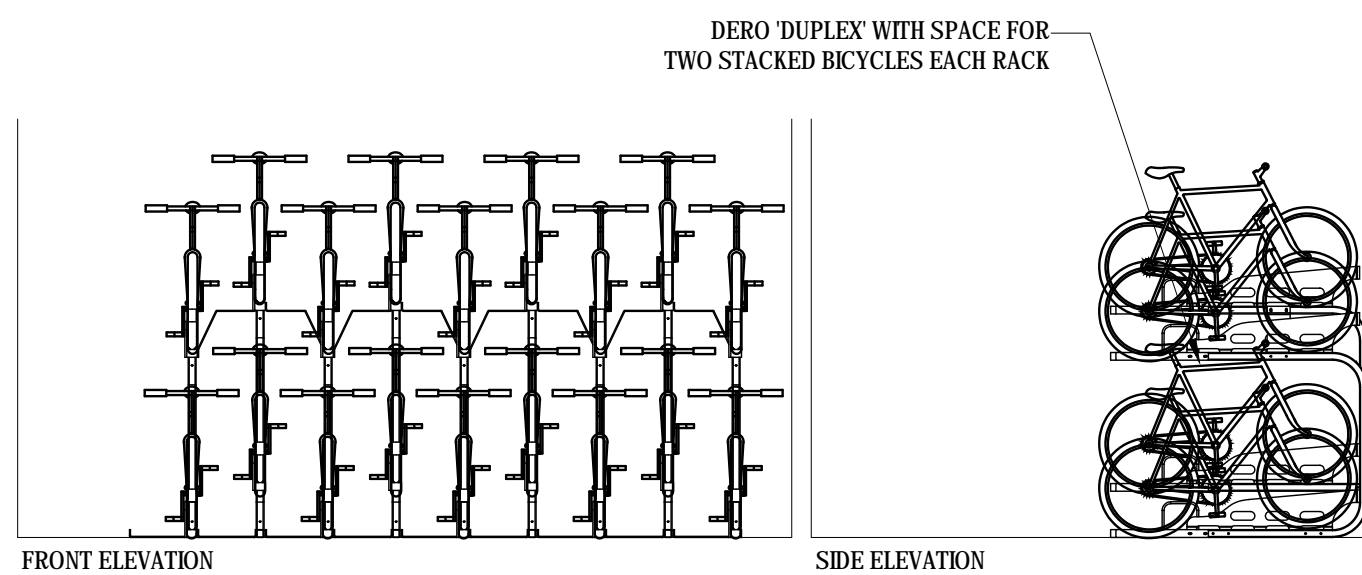
NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- | | |
|----|---|
| 7 | LONG TERM BICYCLE PARKING; SEE A1.01 FOR REQUIRED PARKING CALCULATION |
| 8 | EDGE OF BALCONY WITH 42" HIGH GUARDRAIL. REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION |
| 9 | NANAWALL ENTRY TO BALCONY |
| 10 | ATRIUM: OPEN TO ABOVE / BELOW |
| 11 | RETAINING WALL |
| 12 | FIRE CONTROL EQUIPMENT REQUIRED BY FIRE CODE OFFICIAL PROVIDED IN AREA SHOWN DASHED |
| 13 | GLAZING AT ATRIUM PERIMETER |
| 14 | MECHANICAL SHAFT |
| 15 | POTENTIAL FUTURE RETAIL ENTRY SHOWN DASHED |
| 16 | POTENTIAL FUTURE RETAIL DIVIDING WALL SHOWN DASHED |
| 17 | VIEW OF BASEMENT INTERIOR AND ATRIUM ABOVE; SEE 2/A4.01 |
| 18 | NOT USED |
| 19 | ROLL UP DOOR FOR TRASH COLLECTION ACCESS |



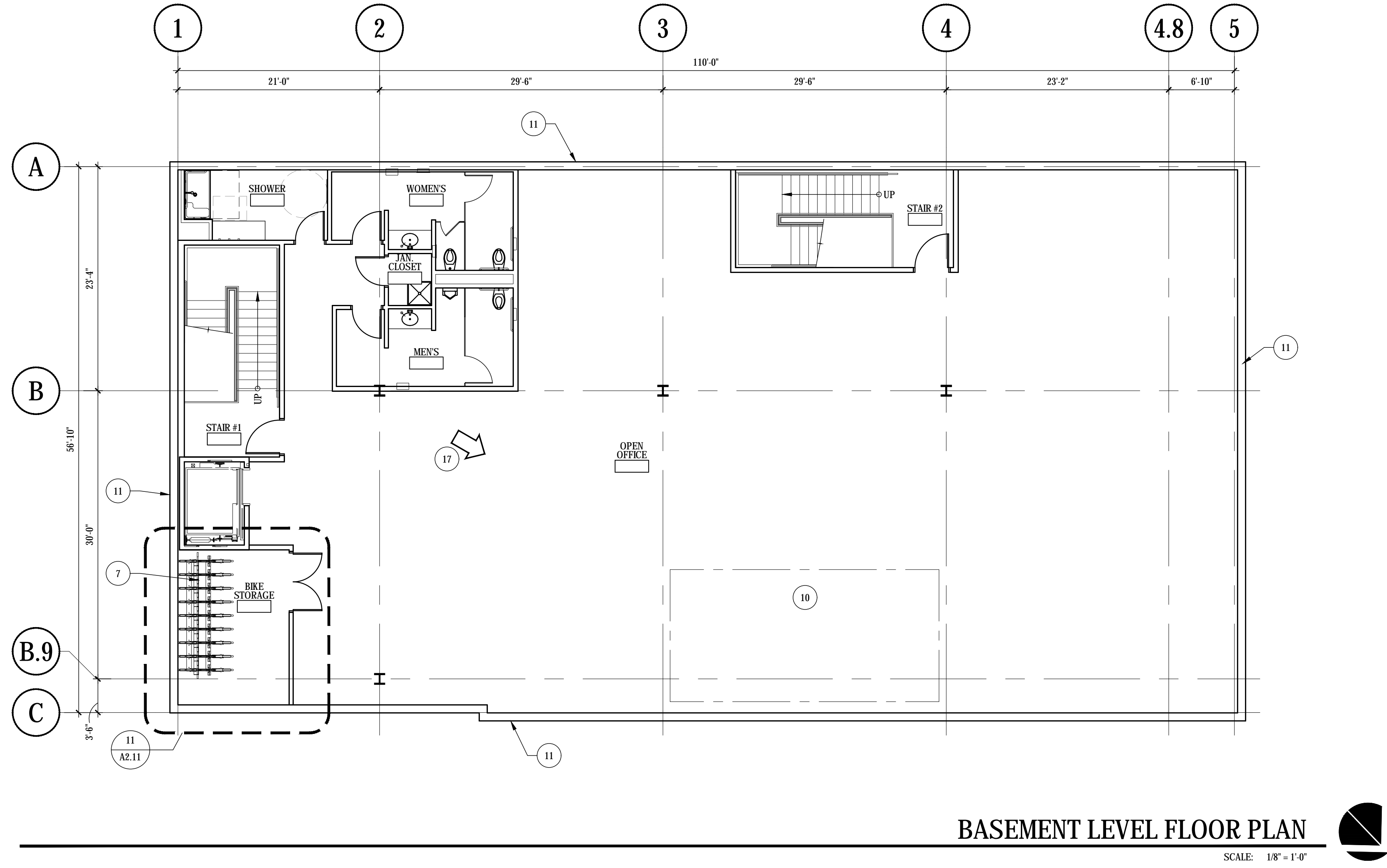
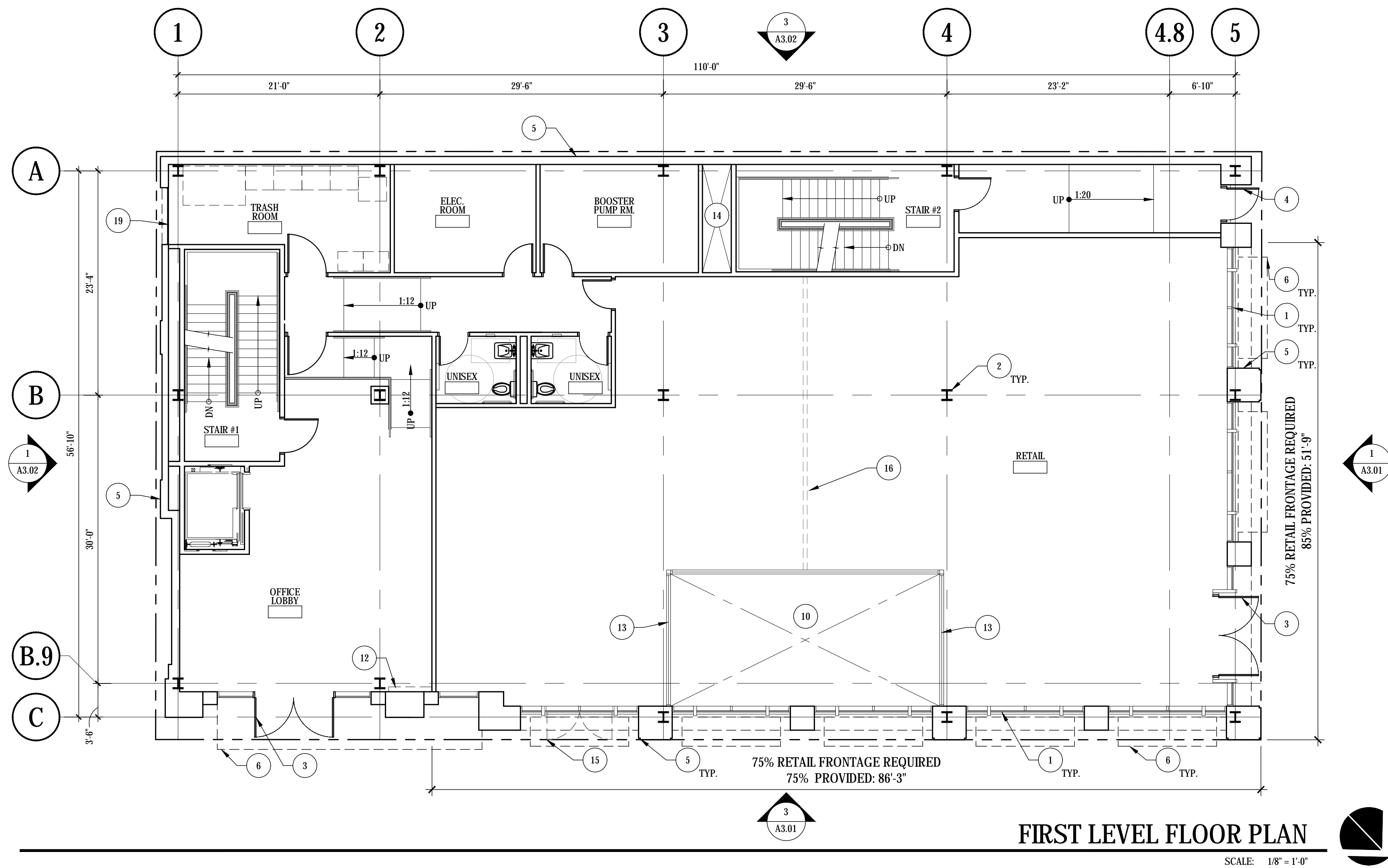
**ENLARGED PLAN -
SECURE LONG TERM BIKE PARKING**

11 SCALE: 1/2" = 1'-0"



DERO DUPLEX
LONG TERM BICYCLE PARKING

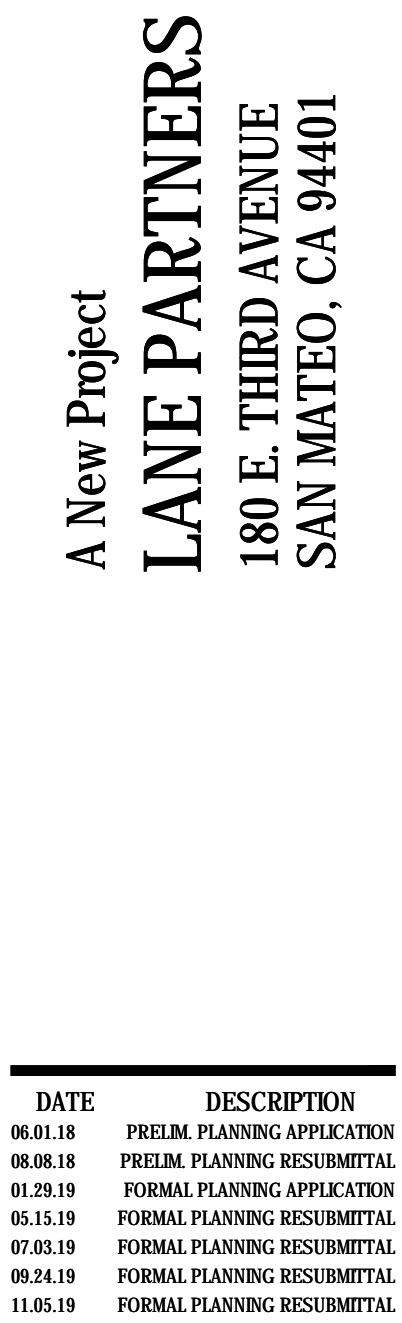
12 SCALE: 1/2" = 1'-0"



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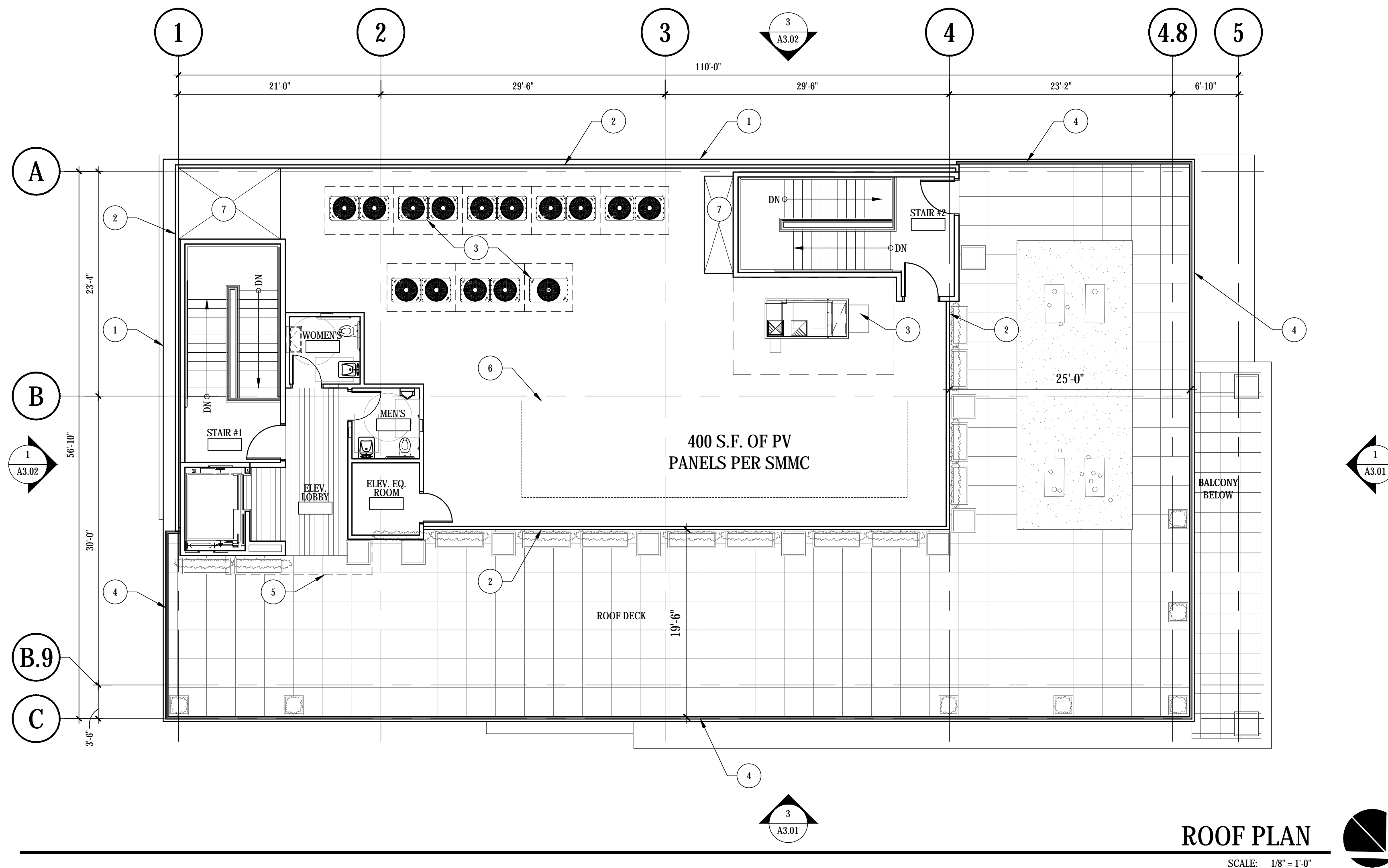
1	EXTERIOR GLAZING SYSTEM, REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
2	STRUCTURAL COLUMN
3	ENTRY/EXIT DOOR
4	EXIT ONLY DOOR, NO EXTERIOR HARDWARE
5	EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR FINISH SPECIFICATION
6	CANOPY ABOVE, SHOWN DASHED
7	LONG TERM BICYCLE PARKING; SEE A1.01 FOR REQUIRED PARKING CALCULATION
8	EDGE OF BALCONY WITH 42" HIGH GUARDRAIL, REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
9	NANAWALL ENTRY TO BALCONY
10	ATRIUM; OPEN TO ABOVE / BELOW
11	RETAINING WALL
12	FIRE CONTROL EQUIPMENT REQUIRED BY FIRE CODE OFFICIAL PROVIDED IN AREA SHOWN DASHED
13	GLAZING AT ATRIUM PERIMETER
14	MECHANICAL SHAFT
15	POTENTIAL FUTURE RETAIL ENTRY SHOWN DASHED
16	POTENTIAL FUTURE RETAIL DIVIDING WALL SHOWN DASHED
17	VIEW OF BASEMENT INTERIOR AND ATRIUM ABOVE; SEE 2/A4.01
18	NOT USED
19	ROLL UP DOOR FOR TRASH COLLECTION ACCESS



NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

1	PARAPET WALL, SEE ELEVATION FOR HEIGHTS
2	ROOF SCREEN, SEE ELEVATION FOR HEIGHTS
3	MECHANICAL UNITS SHOWN FOR REFERENCE ONLY; FINAL SIZE AND LOCATION TO BE DETERMINED
4	TEMPERED GLASS GUARDRAIL
5	CANOPY ABOVE SHOWN DASHED
6	PV PANELS
7	MECHANICAL SHAFT

NOTE: NO FIXED UMBRELLAS OR CANOPIES TO BE PROVIDED OVER 'ROOF DECK' AREA. FURNITURE SHOWN FOR REFERENCE ONLY



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ROOF PLAN

A2.31

PROJECT NO: 174574

G1	GLAZING* TYPE: COLOR:	1" INSULATED LOW TINT	P1	PAINT OVER STUCCO FINISH TO MATCH MANUFACTURER: COLOR:	DUNN EDWARDS DEW340 WHISPER
G2	GLAZING* TYPE: COLOR:	1" INSULATED BLUE TINT	P2	PAINT OVER STUCCO FINISH TO MATCH MANUFACTURER: COLOR:	DUNN EDWARDS DEC761 COCHISE
M1	ALUMINUM FINISH TO MATCH MANUFACTURER: SERIES: FINISH:	REYNORBOND COLORWELD 500 XL BRIGHT SILVER METALLIC	P3	CONCRETE FINISH TO MATCH MANUFACTURER: COLOR:	DUNN EDWARDS DER375 CASTLEROCK
			P4	PAINT OVER STUCCO FINISH TO MATCH MANUFACTURER: COLOR:	DUNN EDWARDS DET625 RECLAIMED WOOD
M2	ALUMINUM FINISH TO MATCH MANUFACTURER: SERIES: FINISH:	REYNORBOND COLORWELD 500 XL NIGHTFALL METALLIC	B1	THIN BRICK VENEER TO MATCH MANUFACTURER: TYPE: FINISH: SIZE:	ENDCOTT MEDIUM RONSPOFT #77 SMOOTH MODULAR 7-5/8" x 2-1/4"

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BRONZE ALUMINUM FRAMES AND BUTT JOINTS
- 2 1" INSULATED LOW E GLAZING SYSTEM WITH BLUE TINT GLASS IN CLEAR ANODIZED ALUMINUM FRAMES AND VERTICAL BUTT JOINTS AND EXPRESSED HORIZONTAL MULLIONS
- 3 ENTRY/EXIT DOOR
- 4 EXIT ONLY DOOR, NO EXTERIOR HARDWARE
- 5 ALUMINUM COMPOSITE METAL PANEL CANOPY FASCIA WITH PERFORATED METAL PANEL INFILL
- 6 BRICK VENEER AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 7 STUCCO FINISH AND EXTERIOR SHEATHING OVER METAL STUD FRAME
- 8 EXTERIOR WALL SCONCE, VISA LIGHTING BLUSH CB5500 AT TYPICAL PIERS AND CB5502 AT THE OFFICE LOBBY. SEE 12/A3.01
- 9 EXTRUDED CLEAR ANODIZED ALUMINUM ADDRESS NUMERALS
- 10 TEMPERED GLAZING GUARDRAIL
- 11 EXISTING PROPERTY LINE
- 12 REQUIRED STREET WALL SETBACK PER SAN MATEO DOWNTOWN PLAN POLICIES SHOWN DASHED; BASE OF STREET WALL SETBACK TAKEN FROM CURB LEVEL AT CENTERLINE OF PUBLIC RIGHT OF WAY PER SMMC 27.04.140. LEVEL OF ROOF STRUCTURE (PLATELINE) IS BELOW HEIGHT LIMIT AND STREET WALL SETBACK
- 13 CENTERLINE OF PUBLIC RIGHT OF WAY
- 14 STUCCO ROOF SCREEN
- 15 ELEVATOR BULKHEAD HEIGHT PERMITTED PER SMMC 27.02.060
- 16 FLOORLINE BEYOND SHOWN DASHED
- 17 ADJACENT CITY PARKING
- 18 ALUMINUM COMPOSITE METAL PANEL
- 19 NOT USED
- 20 PORTION OF FACADE NOT VISIBLE FROM STREET
- 21 MUNTINS IN TRANSOM

 60°-5"
T.O. ELEVATOR
BULKHEAD

 +55°-0' ABOVE BW
HEIGHT LIMIT

 49°-5"
T.O. GUARDRA

 46°-0'
T.O. ROOF

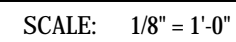
 31°-0'
THIRD LEVEL

 16°-0'
SECOND LEVEL

 ±30.30
R.O.W. MIDPORT

 ±29.74
TC

 0°-0' (+30.10)
FIRST LEVEL



SCALE: 1/8" = 1'-0"

PROJECT NO: 174574

MATERIAL PALETTE

G1	GLAZING* TYPE: COLOR:	1" INSULATED LOW TINT	P1	PART OVER STUCCO FINISH TO MATCH MANUFACTURER: COLOR:	DUNN EDWARDS DEN340 WHISPER
G2	GLAZING* TYPE: COLOR:	1" INSULATED BLUE TINT	P2	PART OVER STUCCO FINISH TO MATCH MANUFACTURER: COLOR:	DUNN EDWARDS DEC781 COCHISE
M1	ALUMINUM FINISH TO MATCH MANUFACTURER: SERIES: FINISH:	REYNORBOND COLORWELD 500 XL BRIGHT SILVER METALLIC	P3	CONCRETE FINISH TO MATCH MANUFACTURER: COLOR:	DUNN EDWARDS DE6375 CASTLEROCK
M2	ALUMINUM FINISH TO MATCH MANUFACTURER: SERIES: FINISH:	REYNORBOND COLORWELD 500 XL NIGHTFALL METALLIC	P4	PART OVER STUCCO FINISH TO MATCH MANUFACTURER: COLOR:	DUNN EDWARDS DET825 RECLAIMED WOOD
			B1	THIN BRICK VENEER TO MATCH MANUFACTURER: TYPE: FINISH: SIZE:	ENDICOTT MEDIUM IRONSPOT #77 SMOOTH MODULAR 7-5/8" x 2-1/4"

* GLAZING SPECIFIED INDICATES GENERAL TONE AND COLOR. FINAL PERCEIVED COLOR AND CLARITY WILL VARY DEPENDING ON 1" INSULATED GLAZING SPECIFICATION TO BE DETERMINED AT TIME OF CONSTRUCTION DOCUMENTATION.

KEYNOTES

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1" INSULATED LOW E GLAZING SYSTEM WITH LOW TINT GLASS IN BRONZE ALUMINUM FRAMES AND BUTT JOINTS
- 1" INSULATED LOW E GLAZING SYSTEM WITH BLUE TINT GLASS IN CLEAR ANODIZED ALUMINUM FRAMES AND VERTICAL BUTT JOINTS AND EXPRESSED HORIZONTAL MULLIONS
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- ADJACENT CITY PARKING
- ALUMINUM COMPOSITE METAL PANEL
- NOT USED
- PORTION OF FACADE NOT VISIBLE FROM STREET
- MUNTINS IN TRANSOM

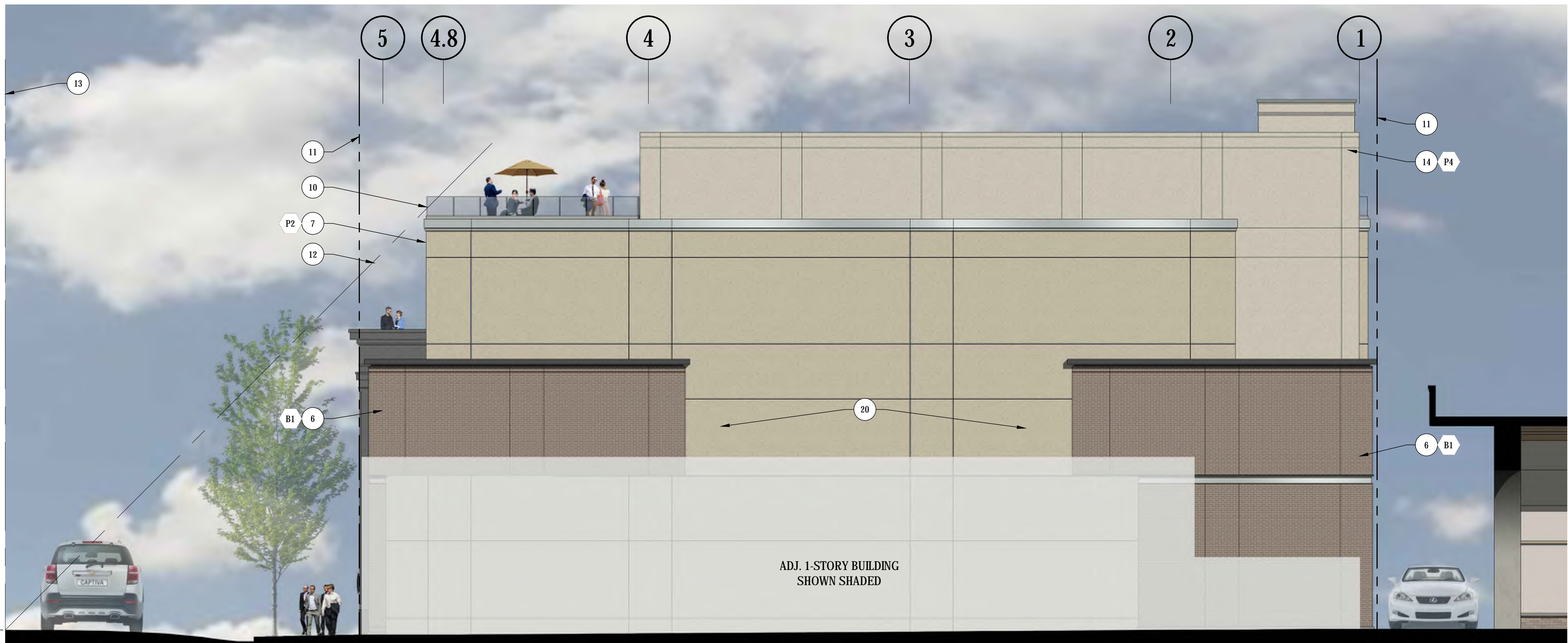


ELLSWORTH AVE.

SOUTH EAST ELEVATION

SCALE: 3/32" = 1'-0"

1



EAST THIRD AVE.

SOUTH WEST ELEVATION

SCALE: 3/32" = 1'-0"

3



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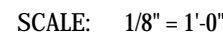
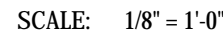
A New Project
LANE PARTNERS
180 E. THIRD AVENUE
SAN MATEO, CA 94401

DATE	DESCRIPTION
06.01.18	PRELIM. PLANNING APPLICATION
08.08.18	PRELIM. PLANNING RESUBMITTAL
01.29.19	FORMAL PLANNING APPLICATION
05.15.19	FORMAL PLANNING RESUBMITTAL
07.03.19	FORMAL PLANNING RESUBMITTAL
09.24.19	FORMAL PLANNING RESUBMITTAL
11.05.19	FORMAL PLANNING RESUBMITTAL

EXTERIOR ELEVATIONS

A3.02

PROJECT NO: 174574





Irrigation

On-Site Open Space

Landscape Areas (totals between curb and building)

Landscape Concept

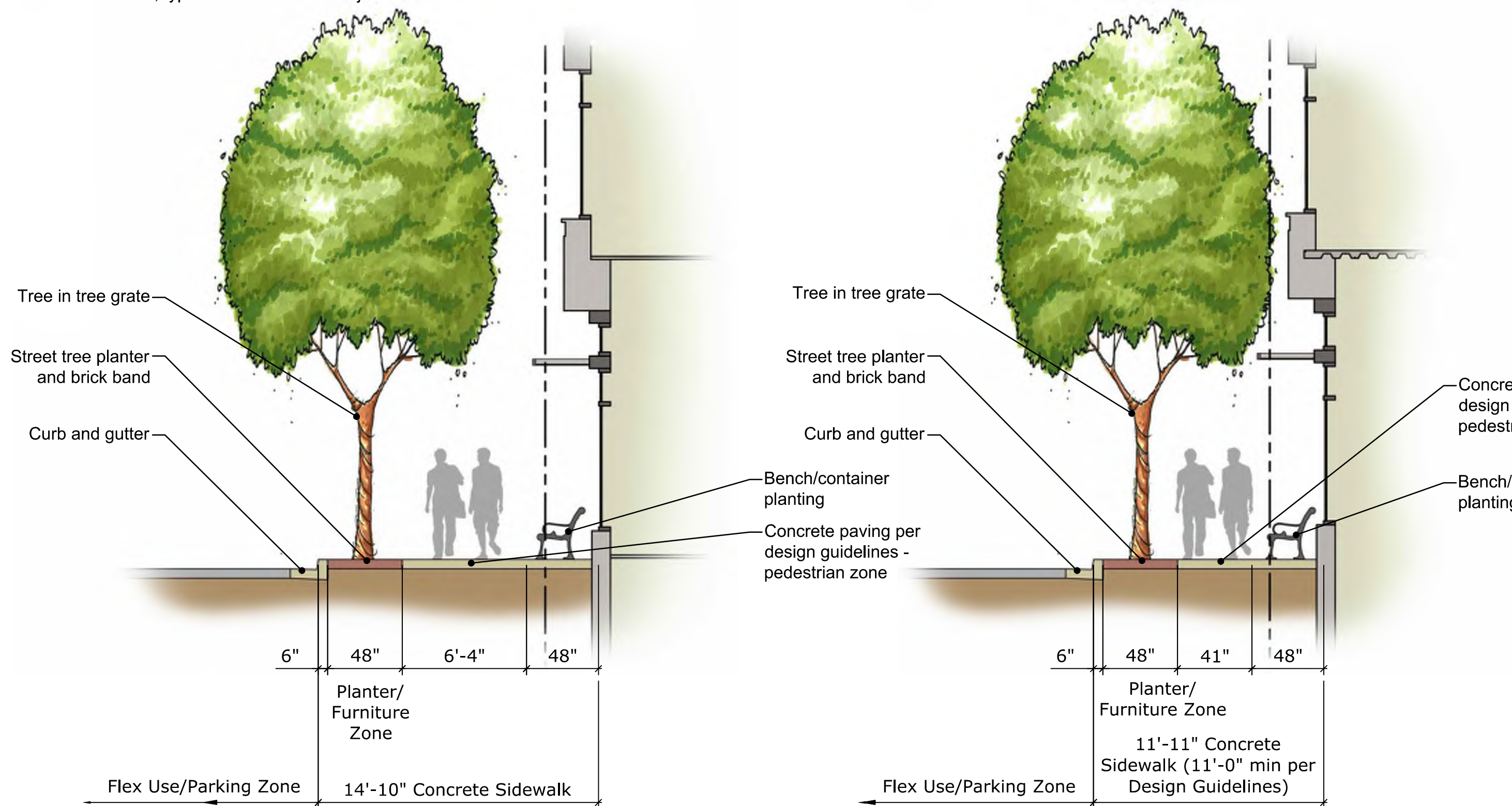
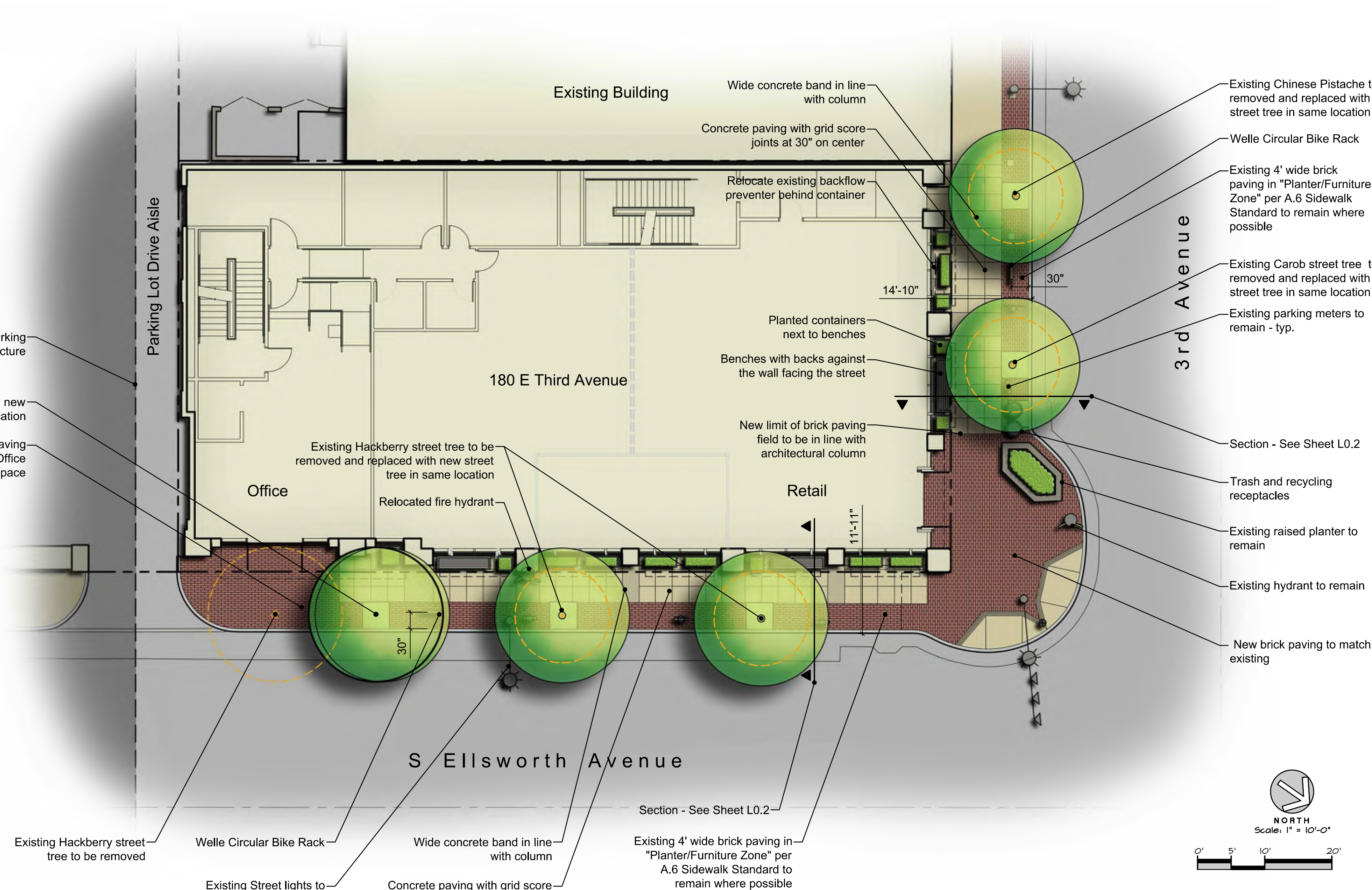
No new turf areas are being added. Low and medium water-use hardy trees, shrubs, grasses, and groundcover are proposed for the landscape around building. The landscape (and associated irrigation) has been designed to be compliant with City of San Mateo Water Efficient Landscape Ordinance.

Special considerations have been provided in selection of plant material that respects the needs of the office users as well as the guests. Clear and secure view corridors have been provided to ensure safety of people entering the building as well as moving around the site.

Preliminary Plant Palette

The Preliminary Plant Palette represents a sampling of the types of shrubs and groundcovers that we anticipate to be appropriate for the location as well as the design style and overall theme. This is the list from which plant selection will be drawn from. Not all plants listed within this plant palette will be used in the final design and some plants not listed may be introduced. However, the planting design intent will remain consistent with this plan and plant palette.

Non-Living Groundcover



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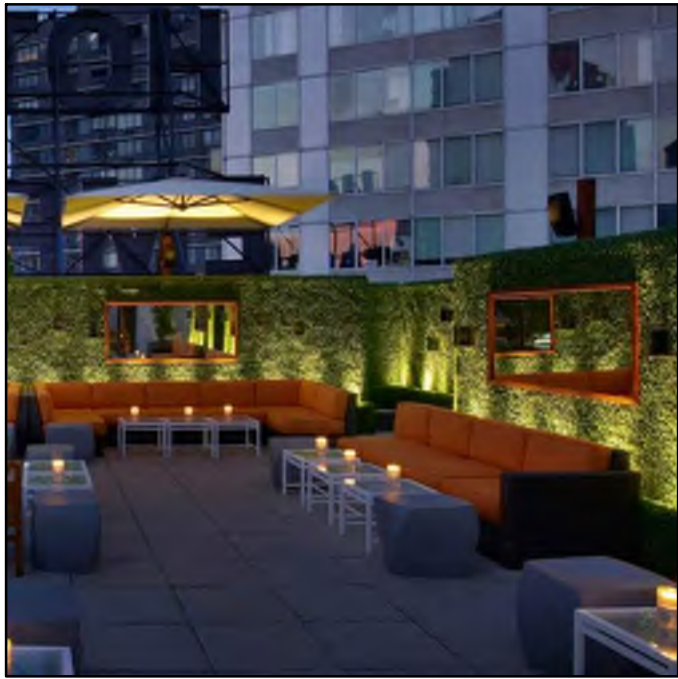
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Preliminary Landscape Plan

PROJECT NO: KLA - 18-2053



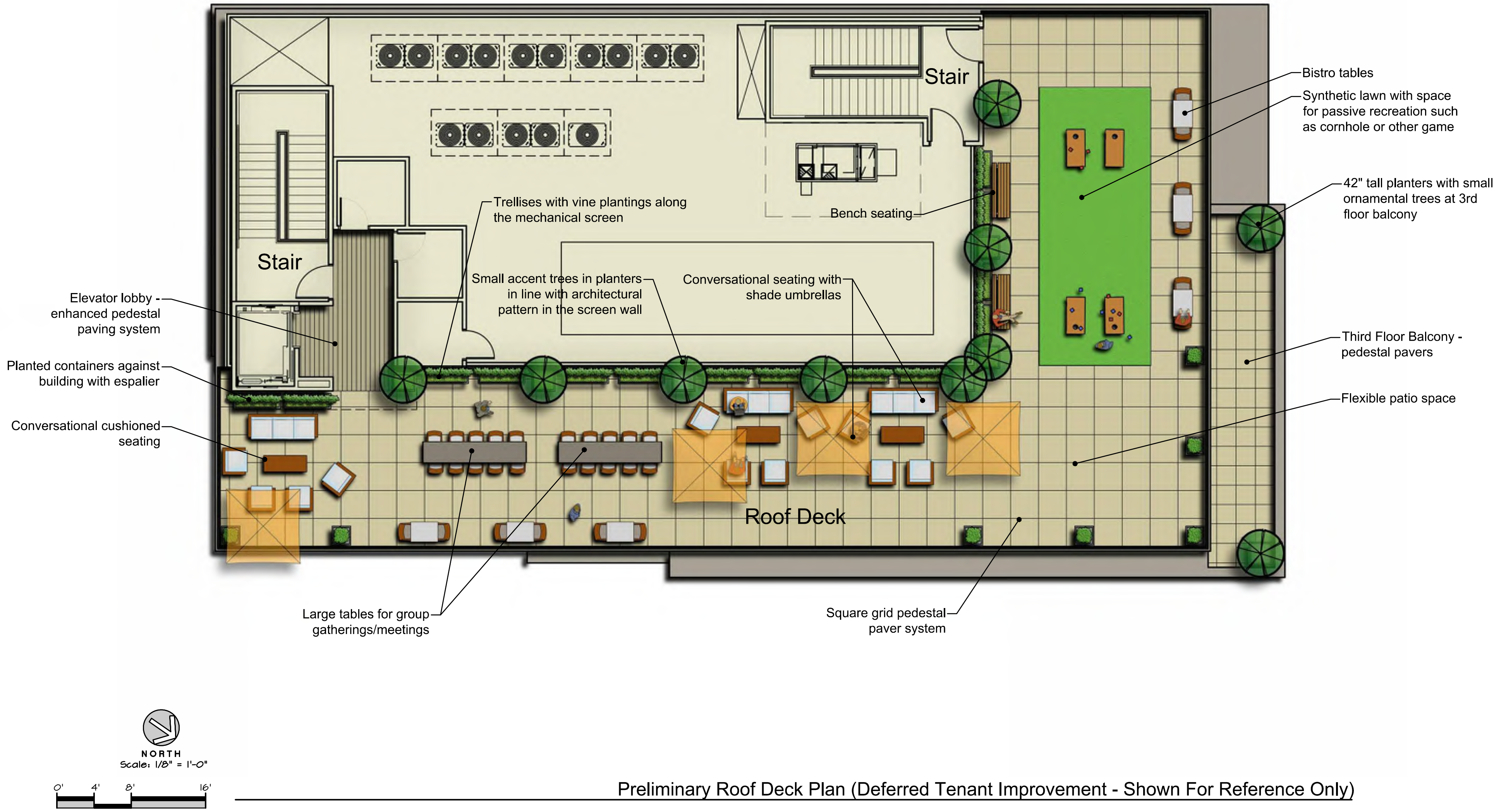
Container planters with building in vertical screen trellis



Conversational Seating



Synthetic turf on roof deck



Preliminary Roof Deck Plan (Deferred Tenant Improvement - Shown For Reference Only)



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**Preliminary
Landscape
Plan**

L0.2

PROJECT NO: KLA - 18-2053


 DETAIL REFERENCE
 SHEET REFERENCE

AB - AGGREGATE BASE
 AC - ASPHALT CONCRETE
 ACR - ACCESSIBLE CURB RAMP
 AD - AREA DRAIN
 ADA - AMERICANS WITH DISABILITIES ACT
 ASB - AGGREGATE SUBBASE
 B - BEGINNING OF CURVE
 BFP - BACK FLOW PREVENTER
 BLDG - BUILDING CORNER
 BLDGS - BUILDING
 BOD - BOTTOM OF DOCK
 BOLL - BOLLARD
 BOTTS - BOTTOM OF STEP
 BOW - FG @ BOTTOM OF WALL
 BV - BEGIN VERTICAL CURVE
 BW - BACK OF WALL
 C - CONCRETE OR CIVIL
 C&G - CURB AND GUTTER
 C - CATCH BASIN
 C - CURB INLET
 CP - CAST IRON PIPE
 CL - CENTER LINE OR CLASS
 CMP - CORRUGATED METAL PIPE
 CND - CLEAVAGE
 CONC - CONCRETE
 CONST - CONSTRUCTION OR CONSTRUCT
 CO - CLOSURE
 DCCA - DOUBLE CHECK DETECTOR ASSEMBLY
 DIP - DROP INLET
 DIP - DUCTILE IRON PIPE
 DOMC - DOMESTIC
 DW - DOMESTIC WATER
 D - DRAINING
 E - EAST
 EC - END OF CURVE
 EP - EDGE OF PAVEMENT
 ER - END OF RETURN
 EV - END VERTICAL CURVE
 ELEV - ELEVATION
 EX, EXIST. - EXISTING
 EX - FACE OF CURB
 FDC - FIRE DEPARTMENT CONNECTION
 FF - FINISHED FLOOR
 FG - FINISHED GRADE
 FH - FIRE HYDRANT
 FL - FLOW LINE
 FOUND - FOUNDATION
 F - FINISHED SURFACE
 F - FOOT
 FW - FIRE WATER
 G - GROUND ELEVATION
 GB - GRADE BREAK
 GV - GATE VALVE
 HCR - ACCESSIBLE RAMP
 HPT - HIGH POINT
 IN - INVERT ELEVATION
 JP - JOINT POLE
 JT - JOINT TRENCH
 LP - LIP OF CUTTER
 LP - LOW POINT
 LSA - LANDSCAPE ARCHITECT
 L - LUMBER
 MEH - MECHANICAL/ELECTRICAL/PLUMBING
 MH - MANHOLE
 MIN - MINIMUM
 MIN - MINIMUM OF VERTICAL CURVE
 MON - MONUMENT
 N - NORTH
 N - NORTH
 NLC - NOT IN CONTRACT
 NO - NUMBER
 N - NOT TO SCALE
 P - PAVEMENT ELEVATION
 PCC - PORTLAND CEMENT CONCRETE /
 P - POINT OF CONTINUOUS CURVATURE
 PIV - POST INDICATOR VALVE
 PL - PROPERTY LINE
 PMH - POWER MANHOLE
 PNC - POINT ON CURVE
 PP - POWER POLE
 P - POINT OF REVERSE CURVATURE
 PVC - POLYVINYL CHLORIDE PIPE
 R - RADIUS
 RC - RELATIVE COMPACTION
 REPC - REINFORCED CONCRETE PIPE
 RPPA - REDUCED PRESSURE PRINCIPLE ASSEMBLY
 R - RIGHT OF WAY
 R/W - SLOPE OR SLOTH
 S.A.D. - STRUCTURAL DRAWINGS
 SB - SEDIMENT BASIN
 SD - STORM DRAIN
 S.E.D. - STRUCTURAL DRAWINGS
 S - SLOPE
 SG - SUBGRADE
 S.L.D. - SEE LANDSCAPE DRAWINGS
 S.L.A. - SEE LANDSCAPE DRAWINGS
 SMH - SIGNAL MANHOLE
 S.P.D. - SEE PLUMBING DRAWINGS
 SS - SANITARY SEWER
 STA - STATION
 STD - STANDARD
 S/W - SIDEWALK
 TD - TOP OF CURB
 TD - TRENCH DRAIN
 TOD - TOP OF DOCK
 TOS - TOP OF SLOPE
 TOS - TOP OF STAIR
 TOW - FG @ TOP OF WALL
 TS - TOP OF SLAB
 TYP - TYPICAL
 UON - UNLESS OTHERWISE NOTED
 U/G - UNDERGROUND
 V/C - VERTICAL CURVE
 VW - WATER METER
 WV - WATER VALVE
 W - WEST
 WWF - WELDED WIRE FABRIC
 W/L - WITH

KEY MAP

$1'' = 30'$



CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THE PLANS.

C-1.0	COVER SHEET
C-2.0	TOPOGRAPHIC SURVEY
C-3.0	GRADING AND DRAINAGE PLAN
C-4.0	UTILITY PLAN
C-5.0	STORMWATER MANAGEMENT PLAN
C-6.0	FIRE ACCESS PLAN



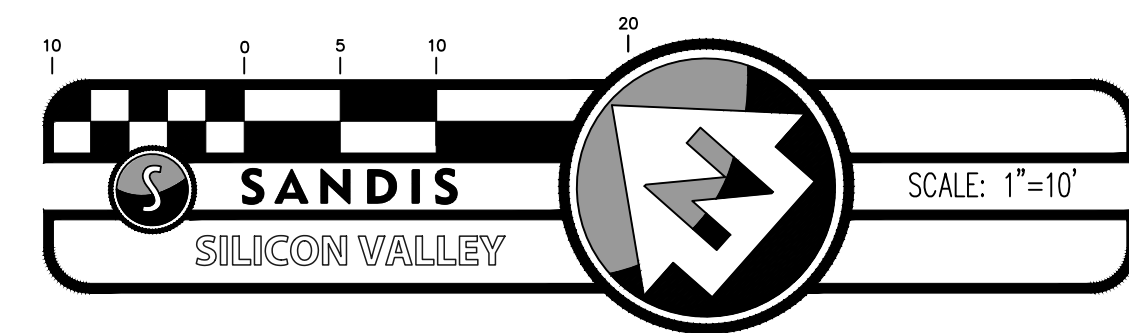
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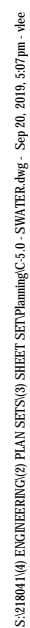
COVER SHEET

C-1.0

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1. ALL HARDSCAPE ALONG THE ADA PATH OF TRAVEL SHALL BE IN CONFORMANCE WITH TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE.
2. SLOPED WALKS ALONG THE DESIGNATED ADA PATH OF TRAVEL SHALL NOT EXCEED A SLOPE OF 1:20 (5%) WITHOUT HANDRAILS. THE MAXIMUM SLOPE WITH HANDRAILS OR FOR CURB RAMPS IS 1:12 (8.33%). LEVEL LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF ALL SLOPED WALKWAYS AND RAMPS.
3. WALKWAYS ON ANY PATH OF TRAVEL SHALL HAVE A MINIMUM WIDTH OF 48". WALKWAYS AND ADA PARKING STALLS OR LOADING ZONES SHALL HAVE A 2% MAXIMUM CROSS SLOPE.
4. A LEVEL LANDING (2% MAX SLOPE) SHALL BE PROVIDED AT ALL ACCESSIBLE ENTRANCES TO BUILDINGS. THE LANDINGS SHALL HAVE A MINIMUM WIDTH OF 60" AND A MINIMUM DEPTH OF 60" WHEN THE DOOR OPENS INTO THE BUILDING, AND 42" PLUS THE WIDTH OF THE DOOR WHEN THE DOOR OPENS ONTO THE LANDING.
5. RAMPS GREATER THAN 1:20 SLOPE AND EXCEEDING 30" IN VERTICAL ELEVATION CHANGE SHALL HAVE INTERMEDIATE LEVEL LANDINGS.

PROJECT NO: 174574

