







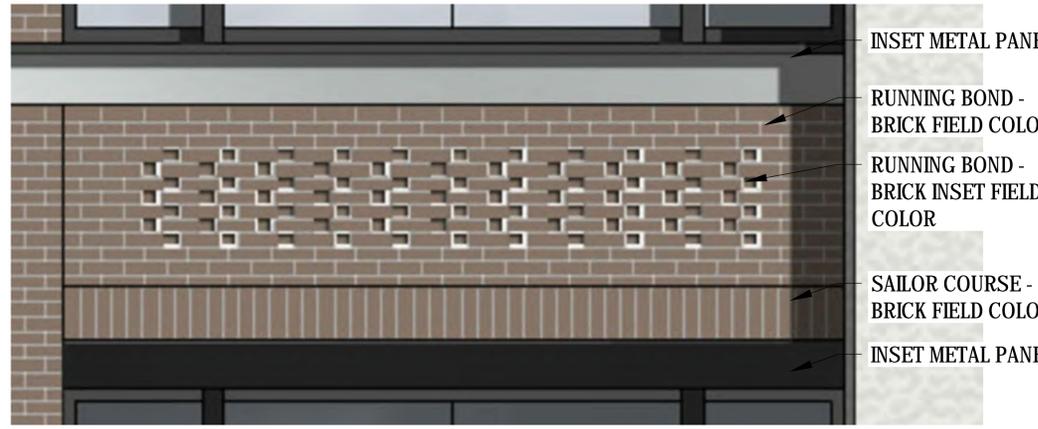
- INSET METAL PANEL
- RUNNING BOND - BRICK FIELD COLOR
- RUNNING BOND - BRICK INSET ACCENT COLOR
- SAILOR COURSE - BRICK FIELD COLOR
- INSET METAL PANEL
- ALUMINUM METAL FASCIA
- CANOPY INSET PERFORATED DECKING
- ACCENT SCONCE
- DECORATIVE PLANTING; SEE LANDSCAPE DWGS
- ACCENT STEPLIGHT
- SAILOR COURSE - BRICK FIELD COLOR

1 VIEW OF TYPICAL BAY



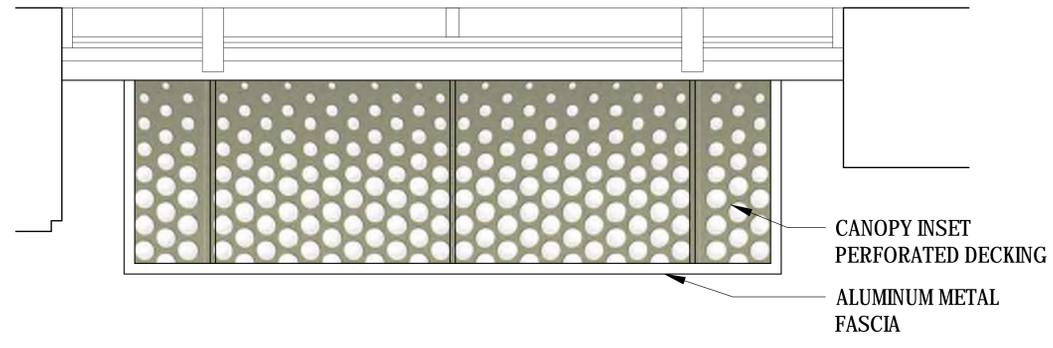
- STUCCO ENTABLATURE WITH ACCENT REVEALS
- MUNTINS
- STUCCO COLUMN WITH BEVELED CORNERS
- INSET METAL PANEL
- RUNNING BOND - BRICK FIELD COLOR
- RUNNING BOND - BRICK INSET ACCENT AT FRIEZE
- SAILOR COURSE - BRICK FIELD COLOR
- INSET METAL PANEL
- TRANSOM WINDOWS
- CANOPY WITH ALUMINUM FASCIA AND PERFORATED METAL DECKING
- ACCENT SCONCE
- RECESSED WINDOWS
- ACCENT STEPLIGHT
- DECORATIVE PLANTING; SEE LANDSCAPE DWGS
- METAL KICK-PLATE
- SAILOR COURSE - BRICK FIELD COLOR

2 TYPICAL BAY - ELEVATION



- INSET METAL PANEL
- RUNNING BOND - BRICK FIELD COLOR
- RUNNING BOND - BRICK INSET FIELD COLOR
- SAILOR COURSE - BRICK FIELD COLOR
- INSET METAL PANEL

3 BRICK FRIEZE - ELEVATION DETAIL

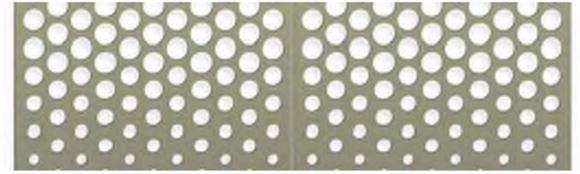


- CANOPY INSET PERFORATED DECKING
- ALUMINUM METAL FASCIA

4 TYPICAL CANOPY REFLECTED CEILING PLAN



5 ACCENT SCONCE - SEE A3.01



CANOPY INSET DECKING - BOK MODERN PATTERN A26



VISA LIGHTING - BLUSH



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 In Association with:

A New Project  
**LANE PARTNERS**  
 180 E. THIRD AVENUE  
 SAN MATEO, CA 94401

DATE	DESCRIPTION
06.01.18	PRELIM. PLANNING APPLICATION
08.08.18	PRELIM. PLANNING RESUBMITTAL
01.28.19	FORMAL PLANNING APPLICATION
05.15.19	FORMAL PLANNING RESUBMITTAL
07.03.19	FORMAL PLANNING RESUBMITTAL
09.24.19	FORMAL PLANNING RESUBMITTAL
11.05.19	FORMAL PLANNING RESUBMITTAL

DETAIL EXHIBITS

**A0.02**

PROJECT NO: 174574





1 RELATION TO EXISTING ADJACENT BUILDING - 208 E. 3RD AVE



3 RELATION TO EXISTING ADJACENT BUILDING - 174 E. 3RD AVE



2 RELATION TO EXISTING ADJACENT BUILDING - 208 E. 3RD AVE



4 RELATION TO EXISTING ADJACENT BUILDING - 174 E. 3RD AVE



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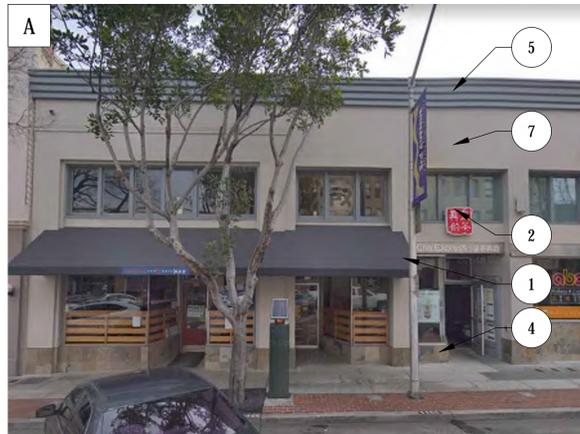
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RELATION TO ADJACENT STOREFRONTS

**A0.04**

PROJECT NO: 174574



208 E. 3RD AVE -  
CONTRIBUTOR STRUCTURE TO HISTORIC DISTRICT



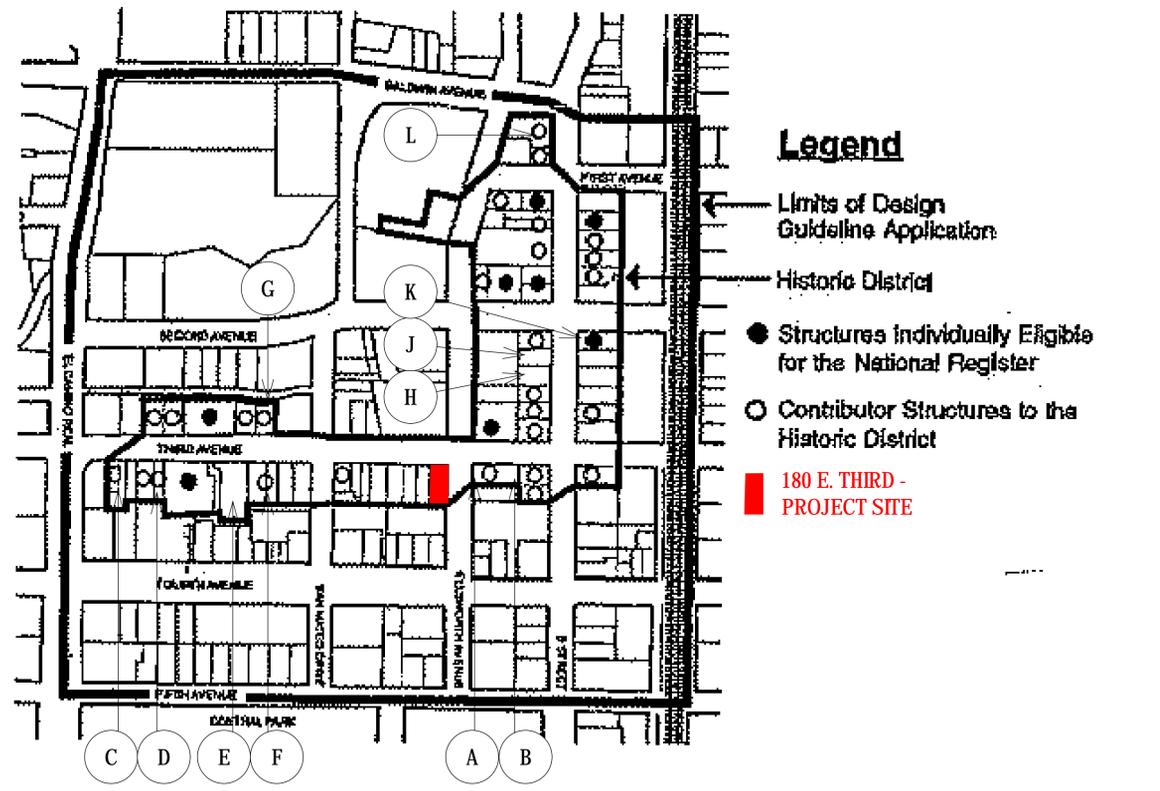
218 E. 3RD AVE -  
CONTRIBUTOR STRUCTURE TO HISTORIC DISTRICT



10 E. 3RD AVE -  
CONTRIBUTOR STRUCTURE TO HISTORIC DISTRICT



18 E. 3RD AVE -  
CONTRIBUTOR STRUCTURE TO HISTORIC DISTRICT



DOWNTOWN RETAIL CORE AND DOWNTOWN HISTORIC DISTRICT REFERENCE MAP

SCALE: 1" = 30'-0"



60 E. 3RD AVE



78 E. 3RD AVE -  
CONTRIBUTOR STRUCTURE TO HISTORIC DISTRICT



77 E. 3RD AVE -  
CONTRIBUTOR STRUCTURE TO HISTORIC DISTRICT



234 S. B ST



220 S. B ST



201 S. B ST  
STRUCTURE INDIVIDUALLY ELIGIBLE FOR THE NATIONAL REGISTER



310 BALDWIN AVE  
CONTRIBUTOR STRUCTURE TO HISTORIC DISTRICT

DESIGN ELEMENTS USED AS PRECEDENT

- 1 CANOPY AT FIRST FLOOR
- 2 SECOND FLOOR WINDOWS ALIGNING IN WIDTH WITH GROUND FLOOR WINDOWS
- 3 MUNTINS TO BREAK UP SCALE OF SECOND FLOOR WINDOWS
- 4 KICK PLATE
- 5 STRONG CORNICE AT SECOND FLOOR
- 6 BRICK CLADDING, TYP.
- 7 STUCCO CLADDING, TYP.
- 8 THIRD FLOOR SETBACK AND BALCONY

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A New Project  
**LANE PARTNERS**  
180 E. THIRD AVENUE  
SAN MATEO, CA 94401

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DOWNTOWN SAN MATEO  
PRECEDENT PROJECTS





AUTUMN EQUINOX - 9:00 AM



WINTER SOLSTICE - 9:00 AM



SPRING EQUINOX - 9:00 AM



SUMMER SOLSTICE - 9:00 AM



AUTUMN EQUINOX - 12:00 PM



WINTER SOLSTICE - 12:00 PM



SPRING EQUINOX - 12:00 PM



SUMMER SOLSTICE - 12:00 PM



AUTUMN EQUINOX - 4:00 PM



WINTER SOLSTICE - 4:00 PM



SPRING EQUINOX - 4:00 PM



SUMMER SOLSTICE - 4:00 PM



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SOLAR STUDY

**A0.12**

PROJECT NO: 174574





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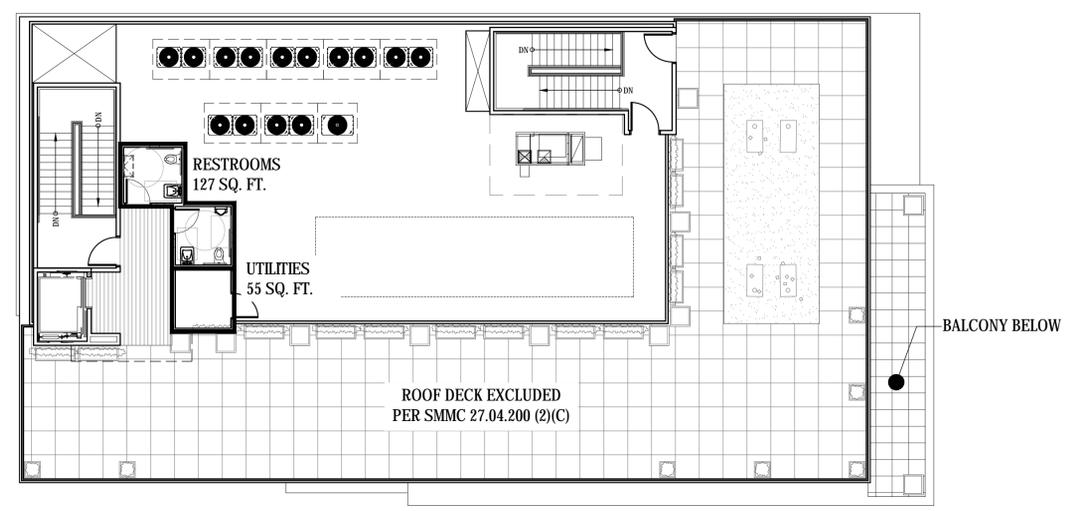
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PLANNING DEPARTMENT  
AREA CALCULATIONS

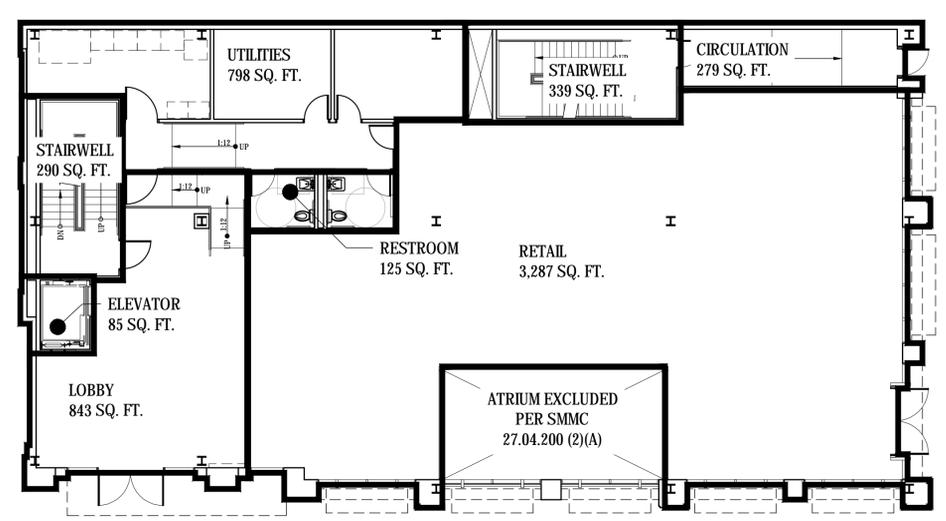
**A0.21**

PROJECT NO: 174574



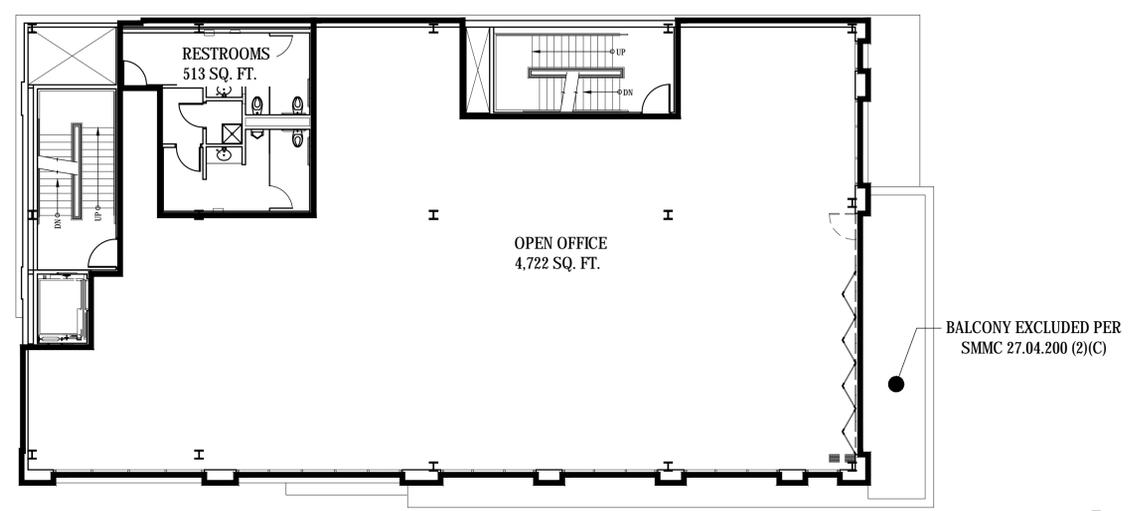
**ROOF AREA PLAN**

SCALE: 1/16" = 1'-0"



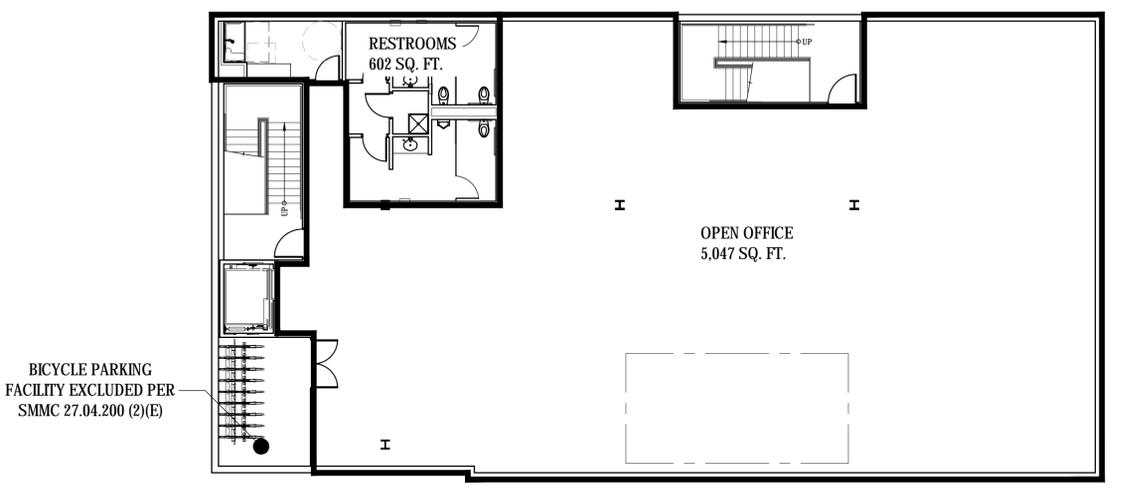
**FIRST FLOOR AREA PLAN**

SCALE: 1/16" = 1'-0"



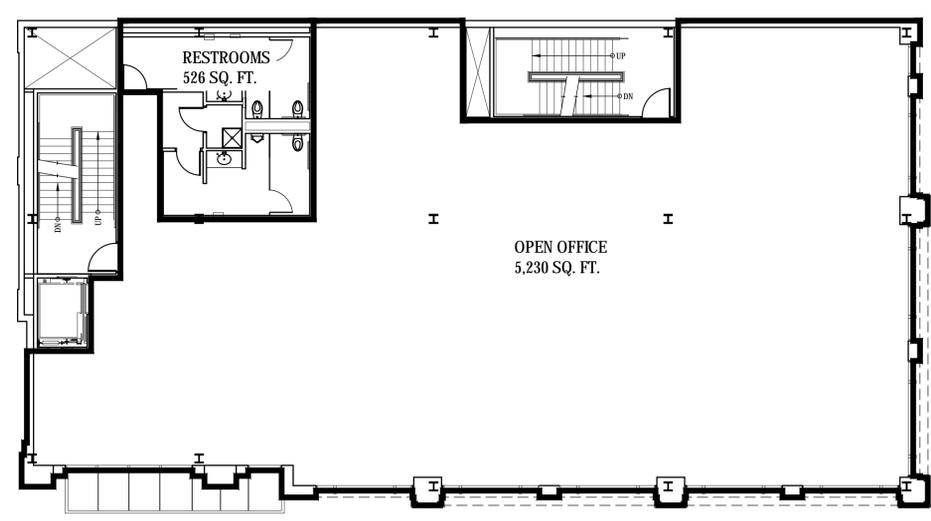
**THIRD FLOOR AREA PLAN**

SCALE: 1/16" = 1'-0"



**BASEMENT FLOOR AREA PLAN**

SCALE: 1/16" = 1'-0"



**SECOND FLOOR AREA PLAN**

SCALE: 1/16" = 1'-0"



**FLOOR AREA (REQUIRED PARKING)\***

BASEMENT LEVEL FLOOR AREA (OFFICE)		SECOND LEVEL FLOOR AREA (OFFICE)	
OFFICE AREA	5,047 SQ. FT.	OFFICE AREA	5,230 SQ. FT.
RESTROOMS	602 SQ. FT.	RESTROOMS	526 SQ. FT.
TOTAL:	5,801 SQ. FT.	TOTAL:	5,756 SQ. FT.
FIRST LEVEL FLOOR AREA (OFFICE)		THIRD LEVEL FLOOR AREA (OFFICE)	
LOBBY	843 SQ. FT.	OFFICE AREA	4,722 SQ. FT.
ELEVATOR	85 SQ. FT.	RESTROOMS	513 SQ. FT.
STAIRWELL	290 SQ. FT.	TOTAL:	5,235 SQ. FT.
STAIRWELL	339 SQ. FT.		
UTILITIES	798 SQ. FT.		
CIRCULATION	279 SQ. FT.		
TOTAL:	2,634 SQ. FT.		
FIRST LEVEL FLOOR AREA (RETAIL)		ROOF FLOOR AREA (OFFICE)	
RETAIL AREA	3,287 SQ. FT.	UTILITIES	55 SQ. FT.
RESTROOM	125 SQ. FT.	RESTROOMS	127 SQ. FT.
TOTAL:	3,380 SQ. FT.	TOTAL:	182 SQ. FT.
		TOTAL FLOOR AREA:	22,988 SQ. FT.*

\*PER San Mateo Municipal Code 27.04.200 (b) Measurement, other than single-family dwellings in R1 zoning districts.  
(1) Floor area is measured from the exterior facades of the building's wall planes, from the centerline of party walls, or from a line three feet from the edge of an eave, whichever produces the largest floor area. Stories exceeding 15 feet in height shall be counted as additional floor area, with the exception that ground floor retail may be up to 18 feet in height measured from first finish floor to second finish floor before being counted as additional floor area. Floor area also includes all accessory structures on the site and basements that meet the definition in subsection (c)(5).  
(2) Exclusions. The following are not counted as floor area:  
(A) Covered or open courts, and atriums, on the ground floor, provided that the area is not used as dwelling, office, retailing, or required access;  
(B) In multiple-level buildings, covered courts, if the retailing uses are open to the public. Multiple-level stairwells and elevators shall be counted only as ground floor area;  
(C) Covered walkways and balconies;  
(D) First floors, mechanical areas, penthouse, and top floors are counted only once as floor area, regardless of height;  
(E) Bicycle parking facilities;  
(F) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;  
(G) Covered parking for office use shall not be counted as floor area in areas delineated for exclusion within an adopted plan, such as the Mainier's Island Specific Plan or the Bay Meadows Specific Plan.

PROJECT NUMBER: 174574 - 180 E. THIRD AVENUE PLANNING APPLICATION - Final Planning Application/180 E. Third Ave. San Mateo, CA 94401



# PRELIM. PLUMBING FIXTURE TABULATIONS

BASEMENT AREA: 5,047 S.F.  
 FIRST LEVEL OFFICE AREA: 843 S.F.  
 FIRST LEVEL MERCANTILE AREA: 3,255 S.F.  
 SECOND LEVEL AREA: 5,230 S.F.  
 THIRD LEVEL AREA: 4,722 S.F.  
 ROOF FLOOR AREA: 2,953 S.F.

BASEMENT AREA & FIRST LEVEL OFFICE AREA (B): 5,890 S.F.  
 5,890 S.F. / 200 S.F. PER PERSON = 29.45 PERSONS; ROUND UP TO 30 PERSONS  
 15 MEN; 15 WOMEN

MEN'S FIXTURES    REQUIRED:    PROVIDED:

WATER CLOSETS:	1	1
URINALS:	1	1
LAVATORIES:	1	1

WOMEN'S FIXTURES    REQUIRED:    PROVIDED

WATER CLOSETS:	1	2
LAVATORIES:	1	1

FIRST LEVEL MERCANTILE AREA (M): 3,287 S.F.  
 3,287 S.F. / 200 S.F. PER PERSON = 16.44 PERSONS; ROUND UP TO 17 PERSONS  
 9 MEN; 9 WOMEN

MEN'S FIXTURES    REQUIRED:    PROVIDED:

WATER CLOSETS:	1	1
URINALS:	0	0
LAVATORIES:	1	1

WOMEN'S FIXTURES    REQUIRED:    PROVIDED

WATER CLOSETS:	1	1
LAVATORIES:	1	1

SECOND LEVEL AREA (B): 5,260 S.F.  
 5,260 S.F. / 200 S.F. PER PERSON = 26.15 PERSONS; ROUND UP TO 27 PERSONS  
 14 MEN; 14 WOMEN

MEN'S FIXTURES    REQUIRED:    PROVIDED:

WATER CLOSETS:	1	1
URINALS:	1	1
LAVATORIES:	1	1

WOMEN'S FIXTURES    REQUIRED:    PROVIDED

WATER CLOSETS:	1	2
LAVATORIES:	1	1

THIRD LEVEL AREA (B): 4,722 S.F.  
 4,722 S.F. / 200 S.F. PER PERSON = 23.61 PERSONS; ROUND UP TO 24 PERSONS  
 12 MEN; 12 WOMEN

ROOF FLOOR AREA (A-3): 2,953 S.F.  
 2,953 S.F. / 30 S.F. PER PERSON = 98.43 PERSONS; ROUND UP TO 99 PERSONS  
 50 MEN; 50 WOMEN

MEN'S FIXTURES    REQUIRED:    PROVIDED:

WATER CLOSETS:	1, 1	2
URINALS:	1, 1	2
LAVATORIES:	1, 1	2

WOMEN'S FIXTURES    REQUIRED:    PROVIDED

WATER CLOSETS:	1, 2	3
LAVATORIES:	1, 1	2

2016 CPC TABLE 422.1 - MINIMUM PLUMBING FACILITIES (EXCERPT)										
Each building shall be provided with sanitary facilities, including provisions for persons with disabilities as prescribed by the Department Having Jurisdiction. Table 422.1 applies to new buildings, additions to a building, and changes of occupancy or type in an existing building resulting in increased occupant load. In accordance with Sections 1.8.7 and 301.3, the Authority Having Jurisdiction may approve alternative design criteria when determining the minimum number of plumbing fixtures.										
For requirements for persons with disabilities, Chapter 11A or 11B of the California Building Code shall be used.										
The total occupant load shall be determined in accordance with the Occupant Load Factor Table A.										
Water Closets <sup>1</sup> (Fixtures per Person)		Lavatories (Fixtures per Person)		Urinals (Fixtures per Person)		Bathrooms or Showers (Fixtures per Person)		Drinking Fountains (Fixtures per Person)		Other
A-3 Assembly occupancy (typical without fixed or permanent seating) - arcades, places or worship, museums, libraries, lecture halls, gymnasiums (without spectator seating), indoor pools (without spectator seating)										
Male: 1: 1-100 2: 101-200 3: 201-400	Female: 1: 1-25 2: 26-50 3: 51-100 4: 101-200 5: 201-300 6: 301-400	Male: 1: 1-200 2: 201-400 3: 401-600 4: 601-750 5: 751-1000	Female: 1: 1-100 2: 101-200 3: 201-300 4: 301-400 5: 401-600	Male: 1: 1-100 2: 101-200 3: 201-400 4: 401-600				1: 1-250 2: 251-500 3: 501-750		1 service sink or laundry tray
Over 400, add 1 fixture for each additional 500 males and 1 for each additional 125 females.		Over 750, add 1 fixture for each additional 250 males and 1 fixture for each 200 females.		Over 600, add 1 fixture for each additional 300 males.				Over 750, add 1 fixture for each additional 500 persons.		
B Business occupancy (office, professional or service type transactions) - banks, vet clinics, hospitals, car wash, banks, beauty salons, ambulatory health care facilities, laundries and dry cleaning, educational institutions (above high school), or training facilities not located within school, post offices and printing shops										
Male: 1: 1-50 2: 51-100 3: 101-200 4: 201-400	Female: 1: 1-15 2: 16-30 3: 31-50 4: 51-100 5: 101-200	Male: 1: 1-75 2: 76-150 3: 151-200 4: 201-300 5: 301-400	Female: 1: 1-50 2: 51-100 3: 101-150 4: 151-200 5: 201-300 6: 301-400	Male: 1: 1-100 2: 101-200 3: 201-400 4: 401-600				1 per 150		1 service sink or laundry tray
Over 400, add 1 fixture for each additional 500 males and 1 for each additional 150 females.		Over 750, add 1 fixture for each additional 250 males and 1 fixture for each 200 females.		Over 600, add 1 fixture for each additional 300 males.						
M Mercantile occupancy (the sale of merchandise and accessible to the public)										
Male: 1: 1-100 2: 101-200 3: 201-400	Female: 1: 1-100 2: 101-200 3: 201-300 4: 301-400	Male: 1: 1-200 2: 201-400 3: 401-600	Female: 1: 1-200 2: 201-300 3: 301-400	Male: 1: 1-200 2: 201-300 3: 301-400				1: 1-250 2: 251-500 3: 501-750		1 service sink or laundry tray
Over 400, add 1 fixture for each additional 500 males and 1 fixture for each additional 200 females.		Over 400, add 1 fixture for each additional 500 males and 1 fixture for each 400 females.		Over 400, add 1 fixture for each additional 500 males.				Over 750, add 1 fixture for each additional 500 persons.		

- The figures shown are based upon (1) fixture being the minimum required for the number of persons indicated or any fraction thereof.
- A restaurant is defined as a business that sells food to be consumed on the premises.
  - The number of occupants for a drive-in restaurant shall be considered as equal to the number of parking stalls.
  - Hand washing facilities shall be available in the kitchen for employees.
- The total number of required water closets for females shall not be less than the total number of required water closets and urinals for males. This requirement shall not apply when single occupancy toilet facilities are provided for each sex in an A or E occupancy with an occupant load of less than 50. Either
  - The required urinal shall be permitted to be omitted or
  - If installed, the urinal shall not require a second water closet to be provided for the female.
- In accordance with Sections 1.8.7 and 301.2, the Authority Having Jurisdiction may approve alternative design criteria when determining the minimum number of plumbing fixtures.
  - Building categories not shown on this table shall be considered separately by the Authority Having Jurisdiction.
  - Drinking fountains shall not be installed in toilet rooms.
  - Not applicable

TABLE A OCCUPANT LOAD FACTOR	
OCCUPANCY *, **	OCCUPANT LOAD FACTOR (square feet)
<b>Group A</b>	
1. Auditoriums, convention halls, dance floors, lodge rooms, stadiums, and casinos (where no fixed seating is provided) (use 1/2 "one-half" the number of fixed seating).	15
2. Conference rooms, dining rooms, drinking establishments, exhibit rooms, gymnasiums, lounges, stages, and similar uses, including restaurants <sup>3</sup> classified as Group B occupancies	30
3. Worship places; principal assembly area, educational and activity unit (where no fixed seating is provided) (use 1/2 "one-half" the number of fixed seating).	30
<b>Group B</b>	
Office or public buildings (areas accessible to the public)	200
<b>Group M</b>	
Retail or wholesale stores	200

\* Any uses not specifically listed shall be based on similar uses listed in this table.  
 \*\* For building or space with mixed occupancies, use appropriate occupancy group for each area (for example, a school may have an "A" occupancy for the gymnasium, a "B" occupancy for the office, an "E" occupancy for the classrooms, etc.). Accessory areas may be excluded (for example: hallway, restroom, stair enclosure).

# PRELIM. ALLOWABLE AREA AND HEIGHT CALC.

TYPE OF CONSTRUCTION: II-B

AUTOMATIC SPRINKLER CONFIGURATION: SM (BUILDINGS TWO OR MORE STORIES ABOVE GRADE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1)

OCCUPANCY:	B	M	S-2	A-3
MAXIMUM HEIGHT (TABLE 504.2)	75	75	75	75
MAXIMUM NUMBER OF STORIES (TABLE 504.4)	4	3	4	3
ALLOWABLE AREA FACTOR (TABLE 506.2)	69,000	37,500	78,000	9,500

## ACTUAL BUILDING AREA AND HEIGHT

Actual Building Area		Notes:
Basement Floor	5,801 S.F.	Building Area shown in this table is the building area as defined by the 2016 California Building Code, Section 202: The area included within surrounding exterior walls (or exterior walls and fire walls) exclusive of vent shafts and courts. Areas of the building not provided with surrounding walls shall be included in the building area if such areas are included within the horizontal projection of the roof or floor above.
First Floor	6,014 S.F.	
Second Floor	5,756 S.F.	
Third Floor	5,235 S.F.	
Roof	182 S.F.	Building Height is defined as the vertical distance from grade plane to the height of the highest roof surface. If the highest roof level is a sloped roof, then the average height of that sloped roof shall be used. A penthouse is not intended to affect the measurement of building height. By definition, a Penthouse is an enclosed, unoccupied rooftop structure used for sheltering mechanical and electrical equipment, tanks, elevators and related machinery, and vertical shaft openings.(Section 202)
<b>TOTAL AREA</b>	<b>22,988 S.F.</b>	
<b>BUILDING HEIGHT:</b>	<b>55'-0"</b>	
<b>NUMBER OF STORIES</b>	<b>4</b>	

## MIXED-OCCUPANCY, MULTISTORY BUILDINGS

Per CBC Section 506.2.4, "each story of a mixed-occupancy building with more than one story above grade plane shall individually comply with the applicable requirements of Section 508.1. For buildings with more than three stories above grade plane, the total building area shall be such that the aggregate sum of the ratios of the actual area of each story divided by the allowable area of such stories, determined in accordance with Equation 5-3 based on the applicable provisions of Section 508.1, shall not exceed three, provided the aggregate sum of the ratios for portions of mixed-occupancy, multistory buildings containing A, E, H, I, L and R occupancies, high-rise buildings, and other occupancies listed in Section 1.11 regulated by the Office of the State Fire Marshal, including any other associated non-separated occupancies, shall not exceed two."

B Occupancy Equation 5-3

$$A_u = [A_s + (NS \times h)]$$

$$A_u = [69,000 + (23,000 \times 0.25)]$$

$$A_u = 74,750$$

M Occupancy Equation 5-3

$$A_u = [A_s + (NS \times h)]$$

$$A_u = [37,500 + (12,500 \times 0.25)]$$

$$A_u = 40,625$$

CBC 506.3.3 Amount of Increase

$$I_1 = [F/P - 0.25] W / 30$$

$$I_1 = [176/2/352 - 0.25] 30/30$$

$$I_1 = 0.25$$

Per CBC Section 508.3 'Nonseparated occupancies', there is no additional area restriction for buildings with nonseparated occupancies.

Per CBC Table 508.4, separation is not required between B and M occupancies. Therefore, the separated occupancy restrictions do not apply.

## ANNOTATION SYMBOLS

	NORTH DESIGNATION		PLAN DETAIL/ENLARGED ELEVATION REFERENCE
	OFFICE 100		ELEVATION DESCRIPTION — WORK POINT
	KEYNOTE		SCALE: 1/8" = 1'-0" FLOOR/SITE PLAN TITLE
	BUILDING SECTION REFERENCE		SCALE: 1/8" = 1'-0" BUILDING ELEVATION TITLE
	EXTERIOR ELEVATION REFERENCE		SCALE: DRAWING/DETAIL TITLE BLOCK
	FLOOR FINISH DESIGNATION - REFER TO FINISH SPECIFICATION		STRUCTURAL GRID IDENTIFICATION (NEW GRID)
	PAINT COLOR DESIGNATION - REFER TO FINISH SPECIFICATIONS		



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A New Project  
**LANE PARTNERS**  
 180 E. THIRD AVENUE  
 SAN MATEO, CA 94401

DATE	DESCRIPTION
06.01.18	PRELIM. PLANNING APPLICATION
08.08.18	PRELIM. PLANNING RESUBMITTAL
01.28.19	FORMAL PLANNING APPLICATION
05.15.19	FORMAL PLANNING RESUBMITTAL
07.03.19	FORMAL PLANNING RESUBMITTAL
09.24.19	FORMAL PLANNING RESUBMITTAL
11.05.19	FORMAL PLANNING RESUBMITTAL

PRELIMINARY PROJECT DATA,  
 GENERAL NOTES AND DRAWING  
 SYMBOLS KEY

**A0.23**

PROJECT NO: 174574

174 E. THIRD AVENUE  
(LOCAL PRESERVATION  
PER DWTN PLAN)

180 E. THIRD AVENUE  
±7,038 S.F. / 0.16 ACRES  
±8,699 S.F. TOTAL  
(E) BUILDING

EAST THIRD AVE.

ELLSWORTH AVE.

SITE PLAN  
SCALE: 1/8" = 1'-0"

**KEYNOTES**

NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXISTING PROPERTY LINE
- 2 CENTERLINE OF PUBLIC RIGHT OF WAY
- 3 ADJACENT PARKING LOT
- 4 ADJACENT COMMERCIAL BUILDING
- 5 EXISTING SIDEWALK TO REMAIN
- 6 EXISTING BUILDING TO BE DEMOLISHED; SHOWN SHADED
- 7 REMOVE AND REPLACE EXISTING STREET TREE; SEE LANDSCAPE DRAWINGS
- 8 EXISTING STREET PARKING



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DEMOLITION SITE PLAN

**A1.00**

PROJECT NO: 174574

















Trash receptacle - Wabash Valley Urbanscape "J" style 32 gallon Receptacle. Color: Black powder coat



Brick paving - per City of San Mateo Design Guidelines. McNear Brick and Block - Commercial Series. Color: Tanglers.



Bike rack - Welle Circular Rack - WCR02-4G. Finish to be stainless steel. (2) total



Bench - Victor Stanley 8' long RB-28 bench with optional intermediate arm rest. Color: Black powder coat



Tree grate - per City of San Mateo Design Guidelines. Urban Accessories - OT - Title 24. Color: Powdercoat RAL 6004 - Maintain existing where feasible



Street trees to be removed and replaced with city approved tree Species - see Plant Palette below



Planting Containers - Tourmesol Urban Collection - UR-2400. Color: Shadow

### Irrigation

The entire site will be irrigated using a fully automatic system and designed to meet the City's Water Efficient Landscaping Ordinance (WELO). The irrigation system will be subsurface drip line. Trees will be irrigated on separate circuits from the shrubs with deep root bubblers. The system will include in-line valves, quick couplers, and gate valves. The irrigation controller will be a "smart" controller by Rainbird, Toro, Hunter, or equal. A complete irrigation design with these parameters will be provided with the submittal of building permit plans.

### On-Site Open Space

Landscape space is less than 500 sf and therefore is not required to meet the requirements of the Water Efficient Landscaping Ordinance (WELO). However, the on-site open space for this project consists of planted containers and benches located between the building and Public Right-of-way. The total area of this open-space is 404 sf, which is 2.4% of building area (17,027 sf) surpassing the 1% requirement.

### Landscape Areas (totals between curb and building)

At-Grade Planting	31 sf
Containers	66 sf
Brick Paving	1,220 sf
Concrete paving with 24" grid scoring	1,124 sf

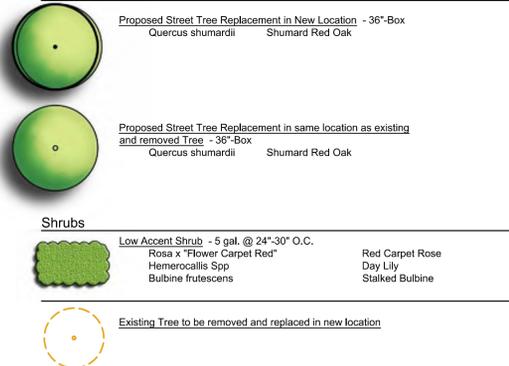
### Landscape Concept

The landscape design concept for the new office and retail building is to provide an enjoyable and aesthetic space for the employees and guests that fits within the landscape framework of the surrounding area. Plant material has been selected that performs well in the special conditions of San Mateo (Sunset Zone #17).

No new turf areas are being added. Low and medium water-use hardy trees, shrubs, grasses, and groundcover are proposed for the landscape around building. The landscape (and associated irrigation) has been designed to be compliant with City of San Mateo Water Efficient Landscape Ordinance.

Special considerations have been provided in selection of plant material that respects the needs of the office users as well as the guests. Clear and secure view corridors have been provided to ensure safety of people entering the building as well as moving around the site.

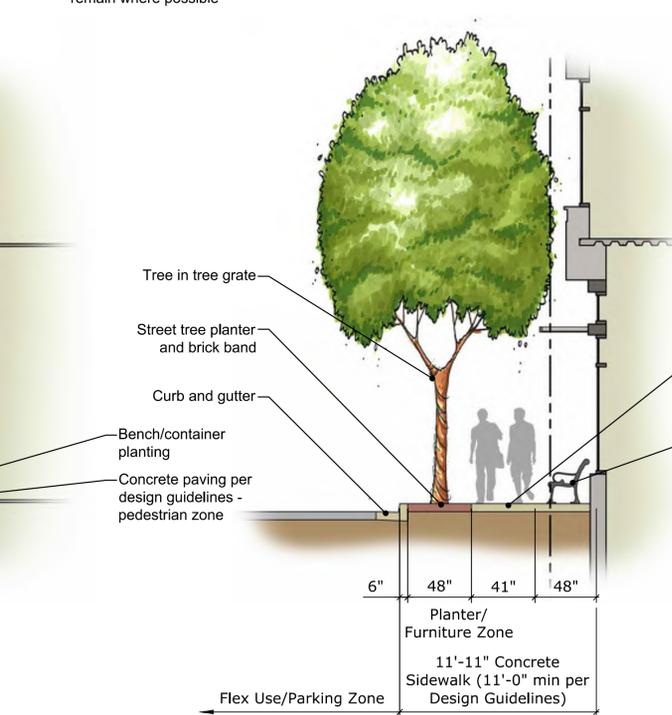
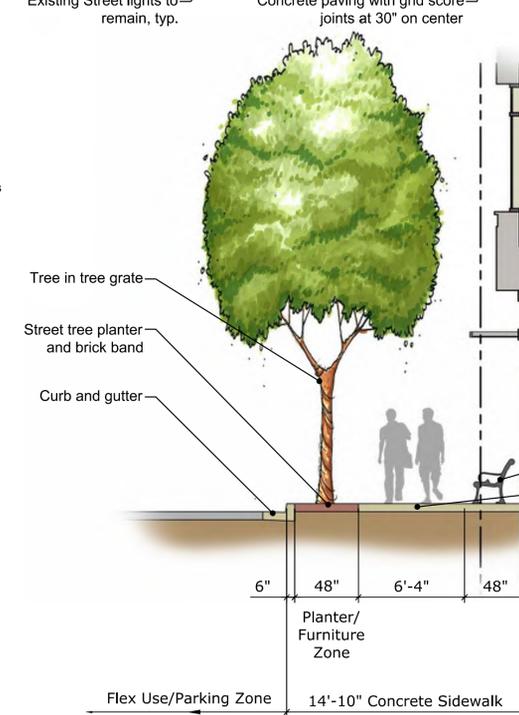
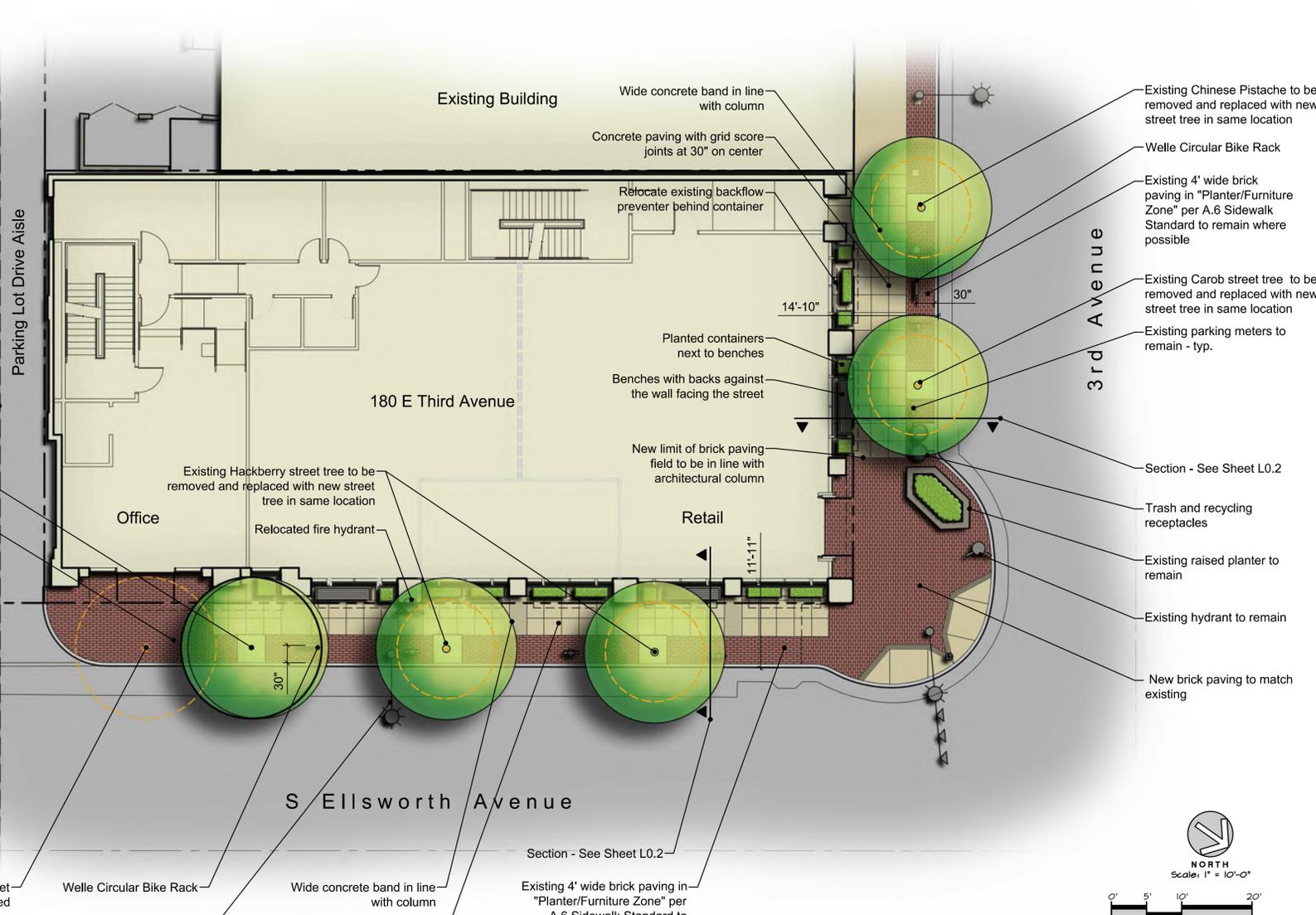
### Preliminary Plant Palette



The Preliminary Plant Palette represents a sampling of the types of shrubs and groundcovers that we anticipate to be appropriate for the location as well as the design style and overall theme. This is the list from which plant selection will be drawn from. Not all plants listed within this plant palette will be used in the final design and some plants not listed may be introduced. However, the planting design intent will remain consistent with this plan and plant palette.

### Non-Living Groundcover

Mulch to be evenly distributed throughout all shrub and groundcover areas unless otherwise noted on plans. Mulch to be nitrogen stabilized, max. 3/4", recycled material installed at min. 3" depth.



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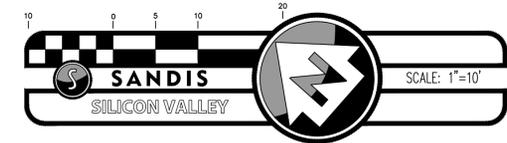
## Preliminary Landscape Plan

# L0.1

PROJECT NO: KLA - 18-2053







**SURVEY NOTES**

- EXISTING TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON IS BASED UPON TOPOGRAPHIC SURVEYS COMPLETED BY SANDIS, UNDER THE DIRECTION OF LAURA CABRAL, PLS 7756, DATED 05/11/2018.
- UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.
- CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND REPORT BACK TO CIVIL ENGINEER ANY DISCREPANCIES WITH PLAN PRIOR TO COMMENCEMENT OF WORK.
- LOT LINES AND RIGHT-OF-WAY LINES ARE BASED ON RECORD INFORMATION ONLY AND IS PLACED PER SPLIT OF IMPROVEMENTS.

**BASIS OF BEARINGS**

HORIZONTAL CONTROL IS BASED ON AN ASSUMED COORDINATE SYSTEM AND IS ROTATED TO BASIS OF BEARINGS OF NORTH 43°30' EAST ALONG THIRD AVENUE AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 13 RSM PAGE 3, HOLDING SPLIT OF IMPROVEMENTS.

**BENCHMARK**

THE ELEVATION REFERENCE FOR THIS SURVEY IS A CITY OF SAN MATEO BENCHMARK, BM ID 031-003, DESCRIBED AS RAMSET NAIL AND WASHER, TOP OF CURB CENTER NW'LY RETURN AT THE INTERSECTION OF SAN MATEO DRIVE AND 3RD AVENUE.

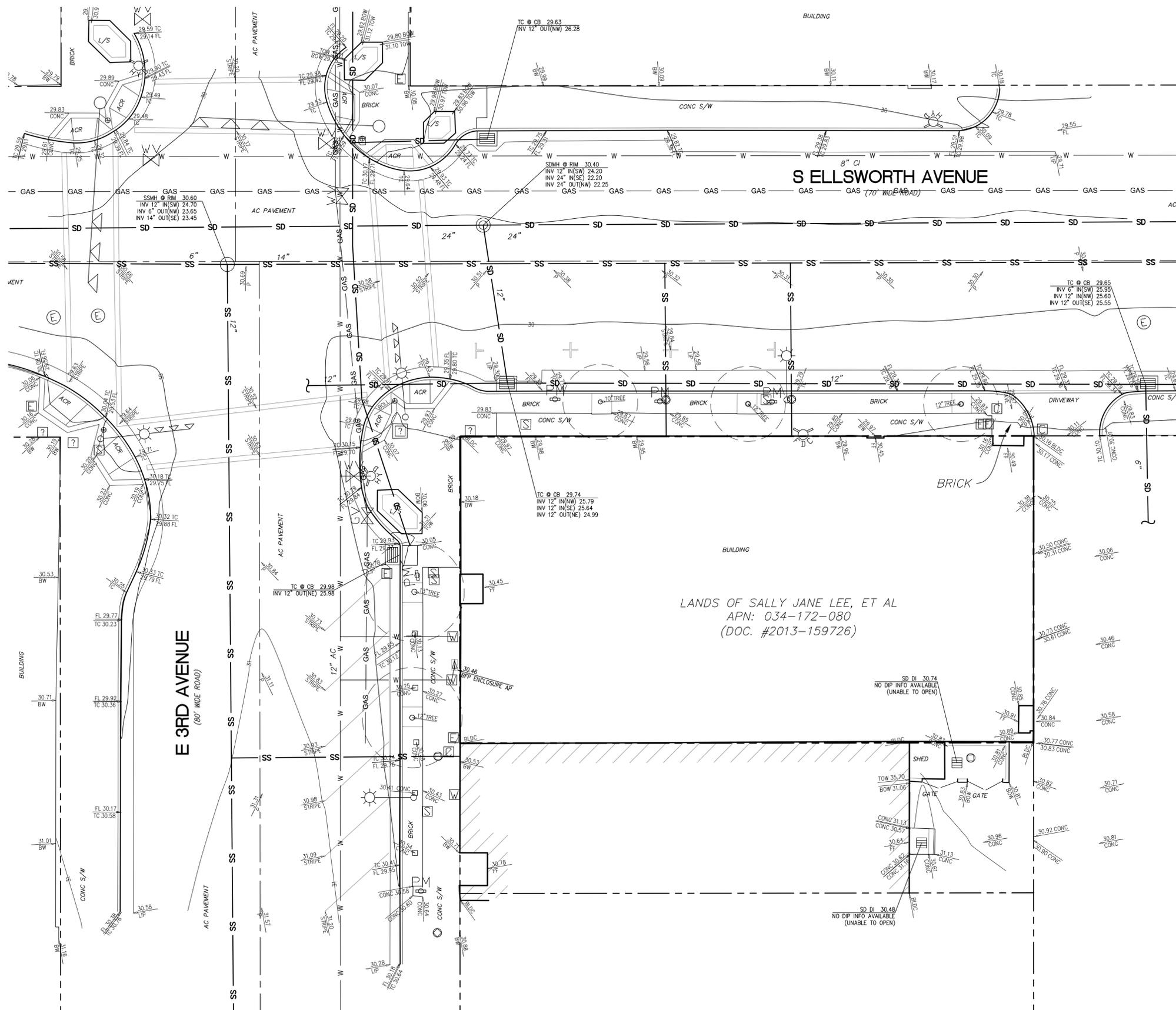
ELEV=34.264 (SAN MATEO DATUM)

**UNDERGROUND UTILITY NOTE**

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

**BOUNDARY NOTE**

THE PARCEL LINES SHOWN HEREON ARE BASED UPON RECORD INFORMATION AS SHOWN ON THE MAP FILED IN BOOK 13 OF MAPS, PAGE 3, SAN MATEO COUNTY RECORDS.



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SACRAMENTO - EAST BAY AREA

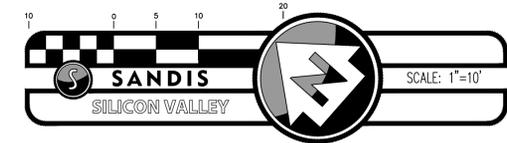
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**TOPOGRAPHIC SURVEY**

**C-2.0**

PROJECT NO: 174574



**GRADING PLAN LEGEND**

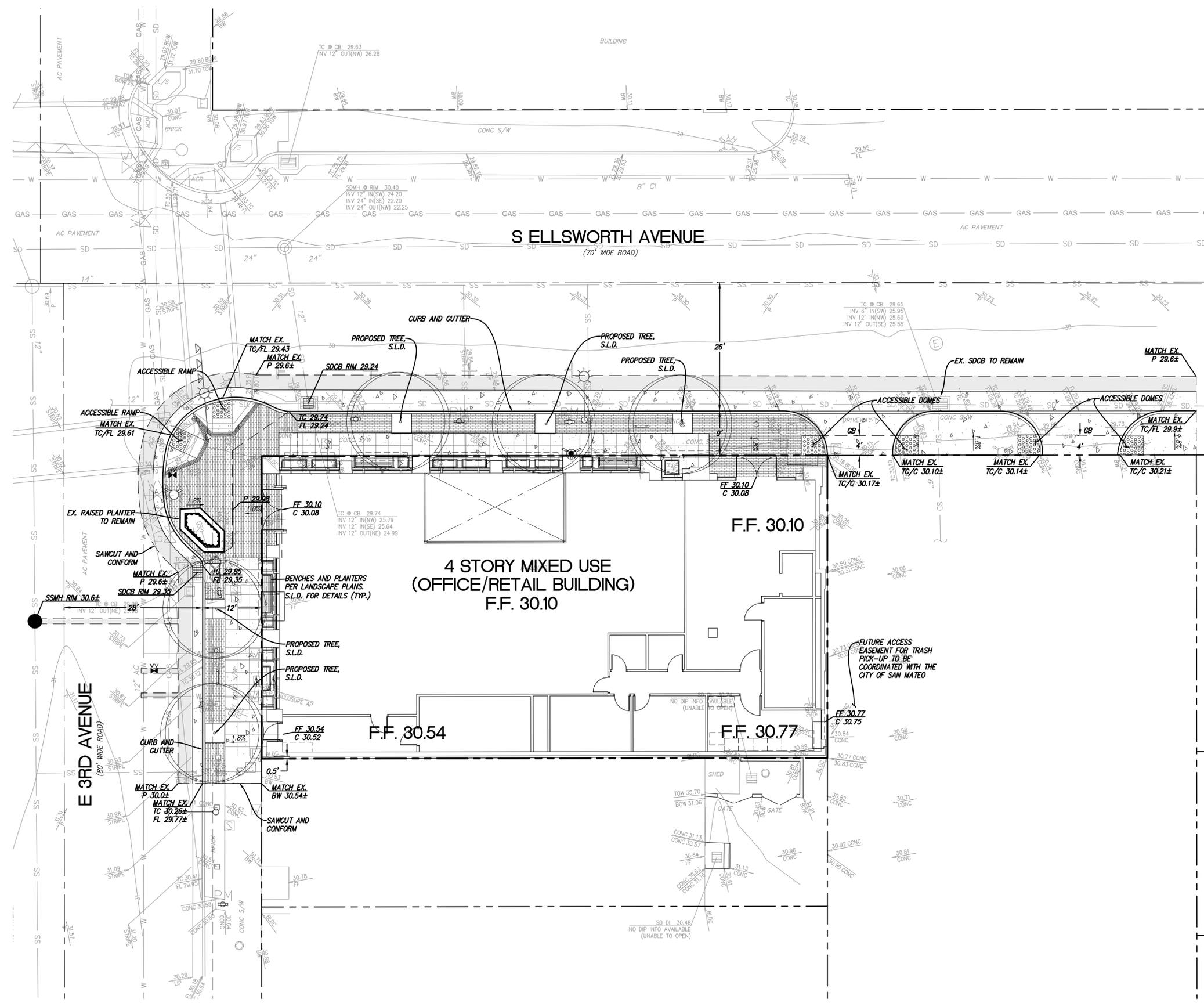
- ASPHALT CONCRETE PAVING
- CONCRETE PAVING
- PAVERS, SEE LANDSCAPE PLANS FOR DETAILS
- LANDSCAPE AREA, SEE LANDSCAPE PLANS FOR DETAILS
- LIMIT OF WORK LINE
- GRADE BREAK
- FLOWLINE

**GRADING NOTES**

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING ALL HARDSCAPE SURFACES AT 2% AND LANDSCAPE SURFACES AT 5% AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. GROUND FLOOR FINISH FLOOR ELEVATIONS VARY. SEE ARCHITECTURAL PLANS FOR INTERIOR FLOOR ELEVATION LIMITS.
3. ALL UTILITY STRUCTURES ARE TO REMAIN, AND BE ADJUSTED TO GRADE UNLESS OTHERWISE NOTED ON PLAN.

**ADA NOTES**

1. ALL HARDSCAPE ALONG THE ADA PATH OF TRAVEL SHALL BE IN CONFORMANCE WITH TITLE 24 OF THE CALIFORNIA ADMINISTRATIVE CODE.
2. SLOPED WALKS ALONG THE DESIGNATED ADA PATH OF TRAVEL SHALL NOT EXCEED A SLOPE OF 1:20 (5%) WITHOUT HANDRAILS. THE MAXIMUM SLOPE WITH HANDRAILS OR FOR CURB RAMPS IS 1:12 (8.33%). LEVEL LANDINGS ARE REQUIRED AT THE TOP AND BOTTOM OF ALL SLOPED WALKWAYS AND RAMPS.
3. WALKWAYS ON ANY PATH OF TRAVEL SHALL HAVE A MINIMUM WIDTH OF 48". WALKWAYS AND ADA PARKING STALLS OR LOADING ZONES SHALL HAVE A 2% MAXIMUM CROSS SLOPE.
4. A LEVEL LANDING (2% MAX SLOPE) SHALL BE PROVIDED AT ALL ACCESSIBLE ENTRANCES TO BUILDINGS, THE LANDINGS SHALL HAVE A MINIMUM WIDTH OF 60" AND A MINIMUM DEPTH OF 60" WHEN THE DOOR OPENS INTO THE BUILDING, AND 42" PLUS THE WIDTH OF THE DOOR WHEN THE DOOR OPENS ONTO THE LANDING.
5. RAMPS GREATER THAN 1:20 SLOPE AND EXCEEDING 30" IN VERTICAL ELEVATION CHANGE SHALL HAVE INTERMEDIATE LEVEL LANDINGS.



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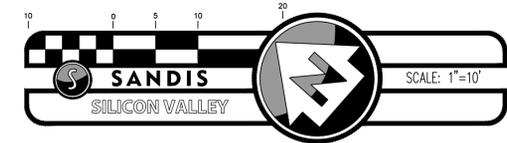
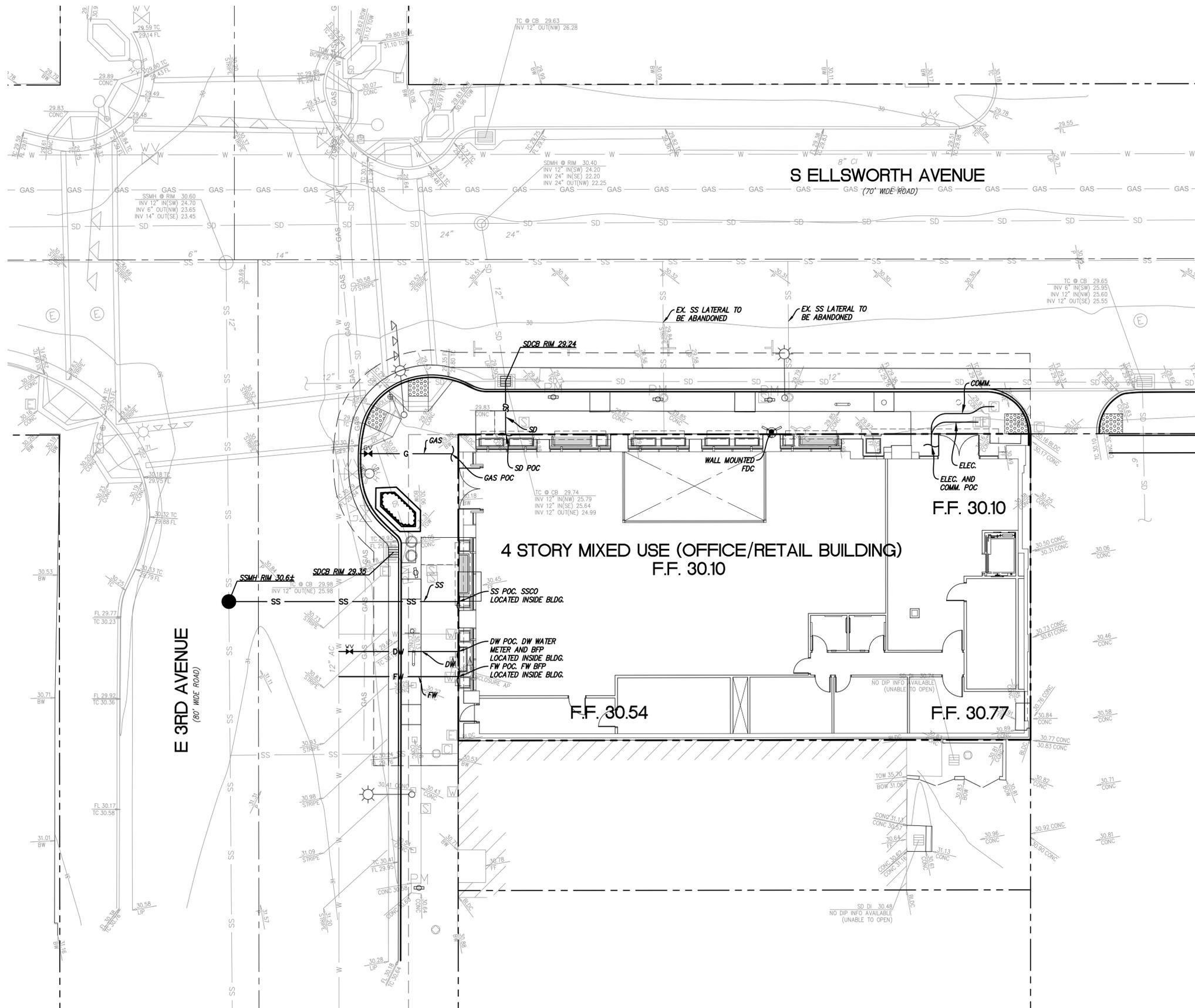
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**GRADING AND DRAINAGE PLAN**

**C-3.0**



**LEGEND**

- SD — STORM DRAIN LINE
- SS — SANITARY SEWER LINE
- DW — DOMESTIC WATER LINE
- FW — FIRE WATER LINE
- IRR — IRRIGATION LINE
- E — ELECTRICAL LINE
- CMN — COMMUNICATION LINE
- - - - - PROPERTY LINE



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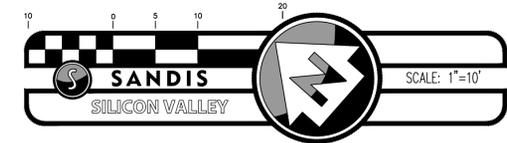
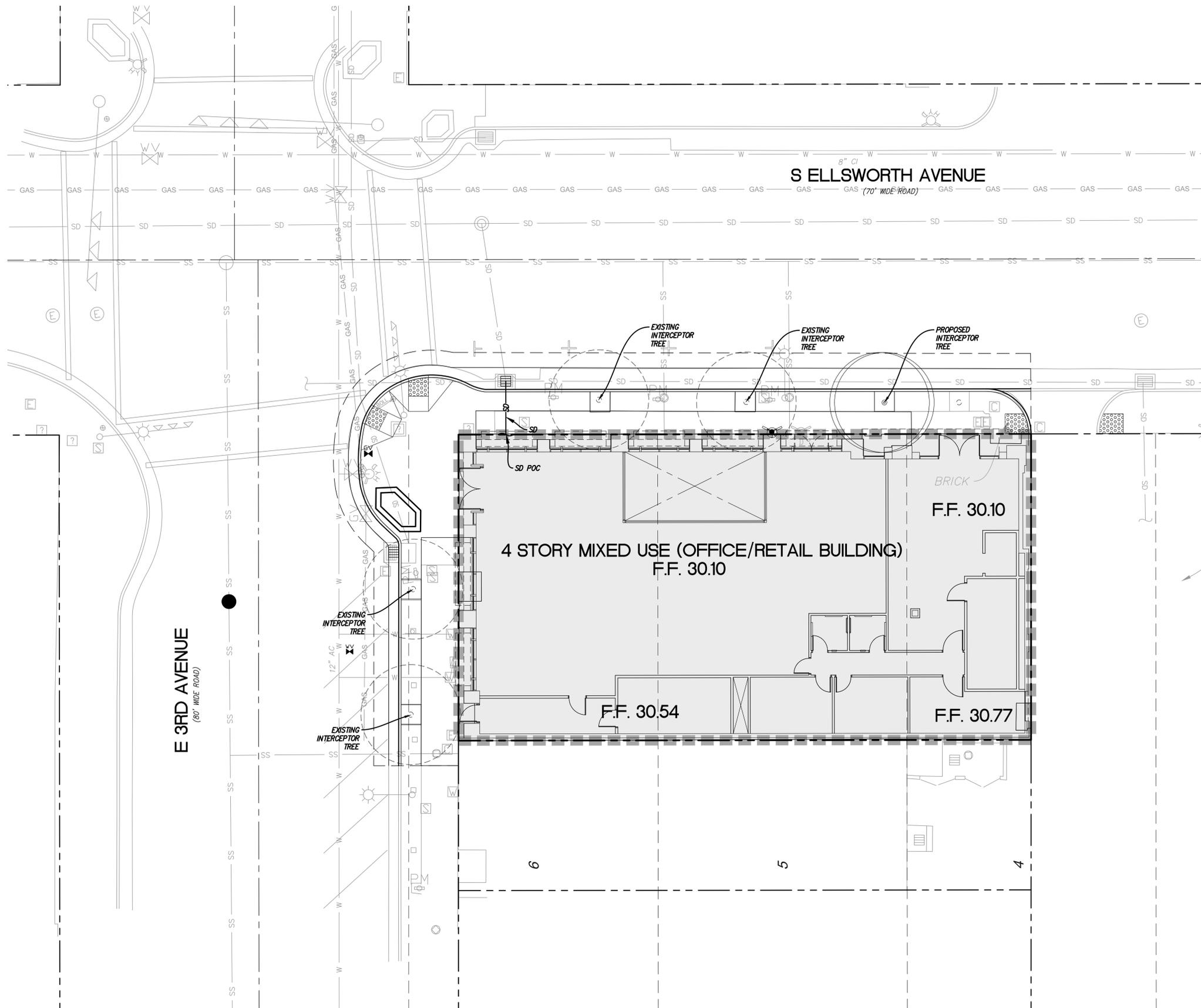
DATE	DESCRIPTION
06.01.18	PRELIM. PLANNING APPLICATION
08.08.18	PRELIM. PLANNING RESUBMITTAL
01.29.19	FORMAL PLANNING APPLICATION
05.15.19	FORMAL PLANNING RESUBMITTAL
07.03.19	FORMAL PLANNING RESUBMITTAL
09.24.19	FORMAL PLANNING RESUBMITTAL

**UTILITY PLAN**

**C-4.0**

PROJECT NO: 174574

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### STORMWATER MANAGEMENT PLAN LEGEND

- PROPOSED IMPERVIOUS AREA
- DRAINAGE AREA BOUNDARY

### HYDROMODIFICATION NOTE:

THE PROJECT IS EXEMPT FROM HYDROMODIFICATION REQUIREMENTS PER THE SAN MATEO COUNTY C.3 TECHNICAL GUIDANCE DOCUMENT. THE PROJECT IS EXEMPT FROM HYDROMODIFICATION DUE TO IMPERVIOUS AREA ADDED OR REPLACED BEING LESS THAN 1 ACRE AND THE PROJECT BEING LOCATED WITHIN THE EXEMPT AREA OF SAN MATEO COUNTY'S C.3 STORMWATER TECHNICAL GUIDANCE APPENDIX H.

### STORMWATER MANAGEMENT NOTES:

1. THE PROPOSED PROJECT IS CREATING/REPLACING LESS THAN 10,000 SQUARE FEET OF IMPERVIOUS AREA, THEREFORE THIS PROJECT IS NOT A REGULATED PROJECT.
2. PER THE MUNICIPAL REGIONAL STORMWATER PERMIT (MRP), STORMWATER CHECKLIST FOR SMALL PROJECTS, BECAUSE THIS PROJECT IS CREATING AND/OR REPLACING MORE THAN 2,500 SQUARE FEET OF IMPERVIOUS SURFACE, THE PROJECT FALLS INTO THE SMALL PROJECTS CATEGORY PER SAN MATEO COUNTY'S C.3 STORMWATER TECHNICAL GUIDANCE SECTION 4.6 AND APPENDIX L. PER SECTION 4.6 AND APPENDIX L, AND MUST INCLUDE AT LEAST ONE OF THE FOLLOWING SITE DESIGN MEASURES:
  - 2.1. PLANT OR PRESERVE INTERCEPTOR TREES. PROJECT WILL USE THIS SITE DESIGN MEASURE TO COMPLY WITH MRP AND STORMWATER CHECKLIST FOR SMALL PROJECTS.

### AREA CALCULATIONS

EX. IMPERVIOUS AREA: 7,038 SQ. FT.  
 PROPOSED IMPERVIOUS AREA: 7,038 SQ. FT.  
 IMPERVIOUS AREA REPLACED: 100%



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A New Project  
**LANE PARTNERS**  
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### STORMWATER MANAGEMENT PLAN

**C-5.0**

STORMWATER MANAGEMENT PLAN (REVISED) 08/27/2019 (C-5.0) 174574.dwg, Sep 26, 2019 10:46 AM

